

STATE OF NEW HAMPSHIRE
DEPARTMENT OF NATURAL AND CULTURAL RESOURCES
DIVISION OF PARKS AND RECREATION

SIDING & PAINTING RENOVATIONS

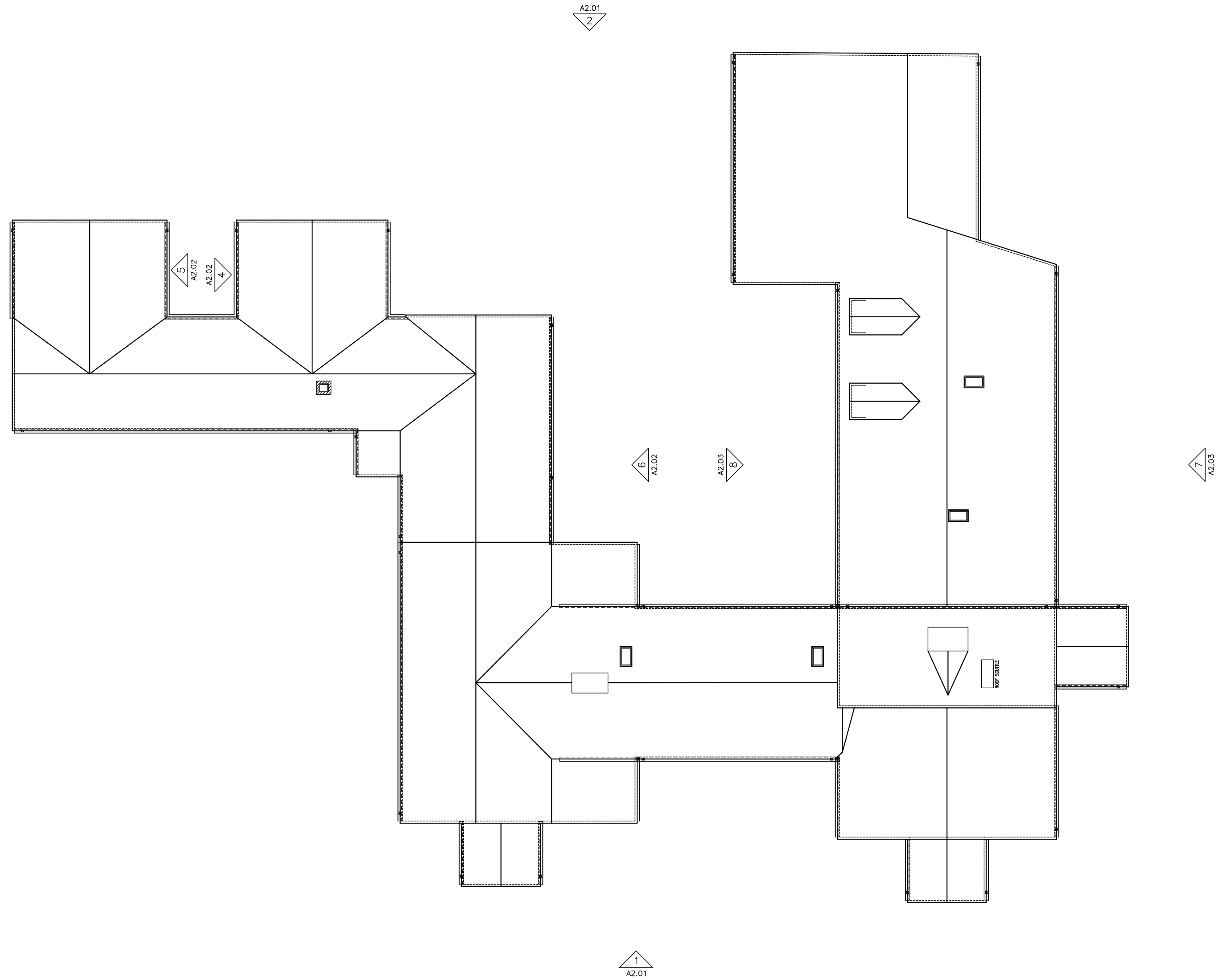
PROJECT #: ARP 2412

WENTWORTH-COOLIDGE HISTORIC SITE

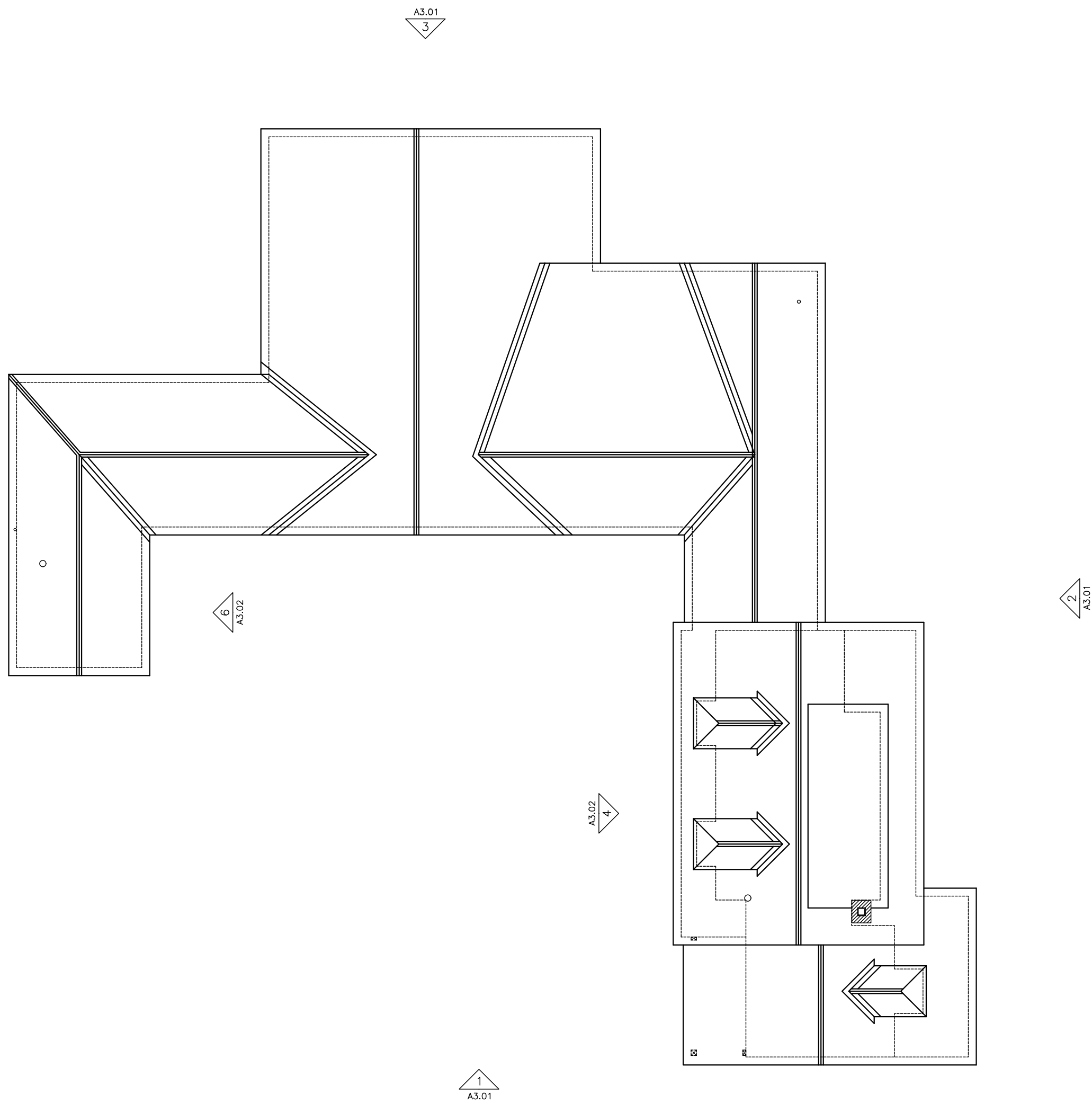
PORTSMOUTH, NEW HAMPSHIRE

CONSTRUCTION DOCUMENTS
5/1/2024

		DRAWING LIST:	NOTES:
		<div>COVER SHEET & NOTES</div> <div>ARCHITECTURAL</div> <div>A1.01LOCATION PLANS</div> <div>A2.01MANSION ELEVATIONS</div> <div>A2.02MANSION ELEVATIONS</div> <div>A2.03MANSION ELEVATIONS</div> <div>A3.01VISITORS CENTER ELEVATIONS</div> <div>A3.02VISITORS CENTER ELEVATIONS</div>	<div>1. WORK SHALL BE PERFORMED ACCORDING TO ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES AND OSHA REQUIREMENTS.</div> <div>2. ALL WORK SHALL BE COMPLETED IN COMPLIANCE WITH THE U.S. SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING, AND RECONSTRUCTING HISTORIC BUILDINGS.</div> <div>3. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE CONSTRUCTION DOCUMENTS AND ANY EXISTING CONDITIONS. THIS IS TO PROVIDE AN OPPORTUNITY TO CLARIFY ANY QUESTIONS PRIOR TO THE START OF CONSTRUCTION.</div> <div>4. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER ACCESS TO THE SITE, AND ANY SPECIFIC OWNER REQUIREMENTS AND PROCEDURES FOR ACCESSING THE SITE.</div> <div>5. THE GENERAL CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS. ANY DISCREPANCY BETWEEN ANTICIPATED AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.</div> <div>6. THE CONTRACTOR SHALL MAINTAIN A FULL SET OF CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL RECORD, IN RED, ON THE DRAWINGS ALL FIELD CHANGES MADE TO THE CONSTRUCTION SET. THE CONTRACTOR SHALL SUBMIT TO THE OWNER AND ARCHITECT ONE SET OF AS-BUILT DRAWINGS AT THE END OF THE PROJECT INDICATING ALL CHANGES MADE.</div> <div>7. PATCH TO MATCH ALL EXISTING MATERIALS THAT ARE DAMAGED, DISTURBED OR OTHERWISE AFFECTED BY REMOVAL OF EXISTING BUILDING ELEMENTS, RELOCATION OF EXISTING MATERIALS, OR CAUSED BY ANY PROCESS OF THE NEW CONSTRUCTION UNDER THIS CONTRACT. FINISH TO MATCH ADJACENT SURFACES.</div> <div>8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL CUTTING AND PATCHING REQUIRED FOR TRADES THAT ARE REQUIRED BY THE SCOPE OF WORK.</div> <div>9. FURNISH AND INSTALL ALL TEMPORARY FENCING OR OTHER SAFETY FEATURES REQUIRED TO PROTECT THE PUBLIC, EXISTING BUILDING AND NEW WORK.</div>



A WENTWORTH-COOLIDGE MANSION



B WENTWORTH-COOLIDGE VISITORS CENTER



1 FRONT ELEVATION



2 REAR ELEVATION

GENERAL NOTES:

- PERFORM SURFACE PREPARATION AND PAINTING ON ALL SIDING, TRIM, EAVES, RAKES, WINDOWS, DOORS, GUTTER, DOWNSPOUTS, AND OTHER CURRENTLY PAINTED EXTERIOR COMPONENTS.
- PROVIDE NEW SOLID 1x WOOD PLINTH BLOCKS, PAINTED, BEHIND ALL LIGHTING FIXTURES AND SIMILAR WALL MOUNTED ITEMS.
- RE-SET/RE-MAIL ALL EXISTING LOOSE SIDING AND TRIM BOARDS TO FIRMLY SECURE THEM TO SHEATHING.
- DSD #** INDICATES DEGREE OF SURFACE DEGRADATION. SEE SPECIFICATIONS FOR DETAILED SURFACE PREPARATION REQUIREMENTS. TAGS INDICATE GENERAL CONDITIONS OF WALL SURFACES. SPOT LOCATIONS OF WALL SURFACES MAY EXHIBIT LOWER OR HIGHER DEGREES OF SURFACE DEGRADATION. THE CONTRACTOR SHALL INSPECT ALL SURFACES PRIOR TO PAINTING AND PROVIDE ADEQUATE SURFACE PREPARATION IN ACCORDANCE WITH THE SPECIFICATION.

KEY NOTES

- A. REFASTEN EXISTING LOOSE SIDING.
- B. PATCH AND REPAIR EXISTING CLAPBOARDS.
- C. REATTACH EXISTING DOWNSPOUT. PATCH AND REPAIR AS REQUIRED. PROVIDE NEW DOWNSPOUT BRACKETS AS REQUIRED. RECONNECT TO EXISTING SUBSURFACE DRAIN.
- D. PROVIDE AND INSTALL NEW WOOD CLAPBOARD TO MATCH EXISTING.
- E. CAREFULLY REMOVE AND SALVAGE ALL LOOSE WOOD SIDING. INSPECT WEATHER BARRIER & SHEATHING, AND REPLACE AS REQUIRED. REINSTALL SALVAGED WOOD SIDING.
- F. REMOVE PORTION OF DAMAGED TRIM BOARDS TO A STABLE POINT. SALVAGE MAXIMUM PORTION OF BOARD POSSIBLE. PROVIDE NEW TRIM BOARD TO MATCH EXISTING. PROVIDE SCAP JOINTS WHERE NEW AND EXISTING BOARDS MEET. PAINT NEW BOARDS TO MATCH EXISTING.
- G. REMOVE EXISTING LOUVERED DOOR LEAF FOR RECONSTRUCTION. USE EXISTING DOOR AS A TEMPLATE FOR NEW COMPONENTS. PATCH AND REPAIR DOOR LEAF TO MATCH EXISTING. REINSTALL RESTORED DOOR.
- H. PATCH AND REPAIR EXISTING CORNER BOARD.
- I. PROVIDE AND INSTALL NEW TRIM BOARD TO MATCH EXISTING.



3 LEFT ELEVATION



4 LEFT ELEVATION



5 RIGHT ELEVATION



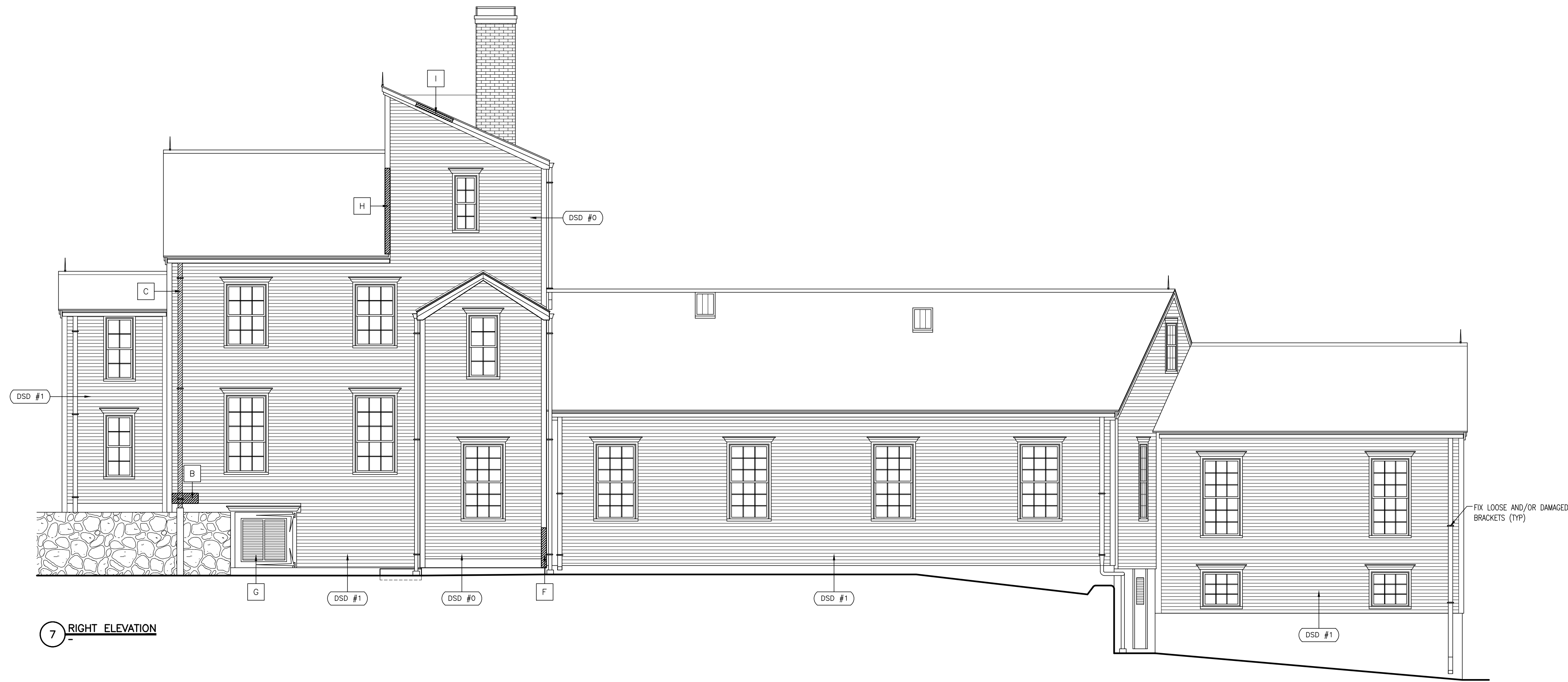
6 RIGHT ELEVATION

GENERAL NOTES:

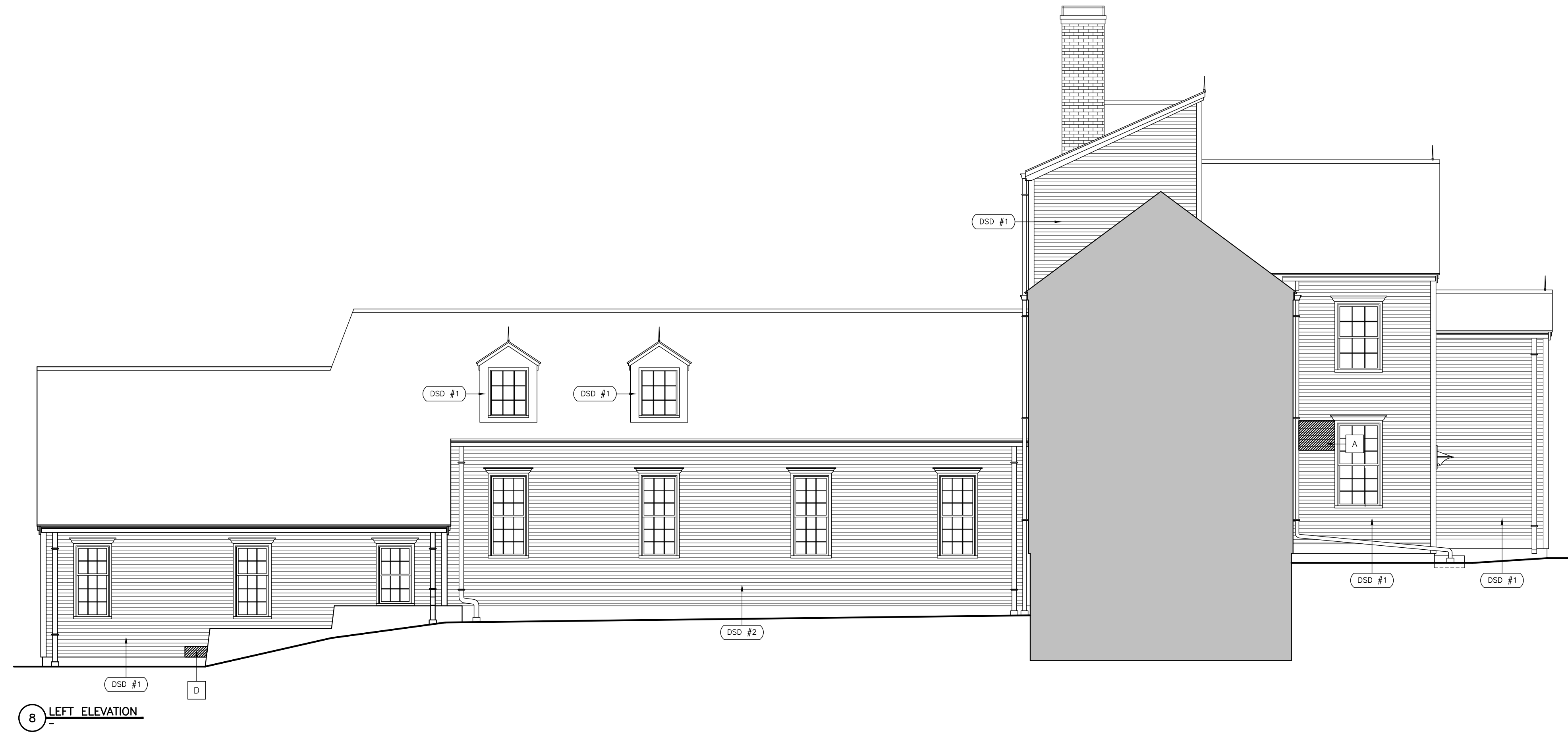
1. PERFORM SURFACE PREPARATION AND PAINTING ON ALL SIDING, TRIM, EAVES, RAKES, WINDOWS, DOORS, GUTTER, DOWNSPOUTS, AND OTHER CURRENTLY PAINTED EXTERIOR COMPONENTS.
2. PROVIDE NEW SOLID 1x WOOD PLINTH BLOCKS, PAINTED, BEHIND ALL LIGHTING FIXTURES AND SIMILAR WALL MOUNTED ITEMS.
3. RE-SET/RE-MAIL ALL EXISTING LOOSE SIDING AND TRIM BOARDS TO FIRMLY SECURE THEM TO SHEATHING.
4. **DSD #** INDICATES DEGREE OF SURFACE DEGRADATION. SEE SPECIFICATIONS FOR DETAILED SURFACE PREPARATION REQUIREMENTS. TAGS INDICATE GENERAL CONDITIONS OF WALL SURFACES. SPOT LOCATIONS OF WALL SURFACES MAY EXHIBIT LOWER OR HIGHER DEGREES OF SURFACE DEGRADATION. THE CONTRACTOR SHALL INSPECT ALL SURFACES PRIOR TO PAINTING AND PROVIDE ADEQUATE SURFACE PREPARATION IN ACCORDANCE WITH THE SPECIFICATION.

KEY NOTES

- A. REFASTEN EXISTING LOOSE SIDING.
- B. PATCH AND REPAIR EXISTING CLAPBOARDS.
- C. REATTACH EXISTING DOWNSPOUT. PATCH AND REPAIR AS REQUIRED. PROVIDE NEW DOWNSPOUT BRACKETS AS REQUIRED. RECONNECT TO EXISTING SUBSURFACE DRAIN.
- D. PROVIDE AND INSTALL NEW WOOD CLAPBOARD TO MATCH EXISTING.
- E. CAREFULLY REMOVE AND SALVAGE ALL LOOSE WOOD SIDING. INSPECT WEATHER BARRIER & SHEATHING, AND REPLACE AS REQUIRED. REINSTALL SALVAGED WOOD SIDING.
- F. REMOVE PORTION OF DAMAGED TRIM BOARDS TO A STABLE POINT. SALVAGE MAXIMUM PORTION OF BOARD POSSIBLE. PROVIDE NEW TRIM BOARD TO MATCH EXISTING. PROVIDE SCARF JOINTS WHERE NEW AND EXISTING BOARDS MEET. PAINT NEW BOARDS TO MATCH EXISTING.
- G. REMOVE EXISTING LOUVERED DOOR LEAF FOR RECONSTRUCTION. USE EXISTING DOOR LEAF AS A TEMPLATE FOR NEW COMPONENTS. PATCH AND REPAIR DOOR LEAF TO MATCH EXISTING. REINSTALL RESTORED DOOR.
- H. PATCH AND REPAIR EXISTING CORNER BOARD.
- I. PROVIDE AND INSTALL NEW TRIM BOARD TO MATCH EXISTING.



7 RIGHT ELEVATION



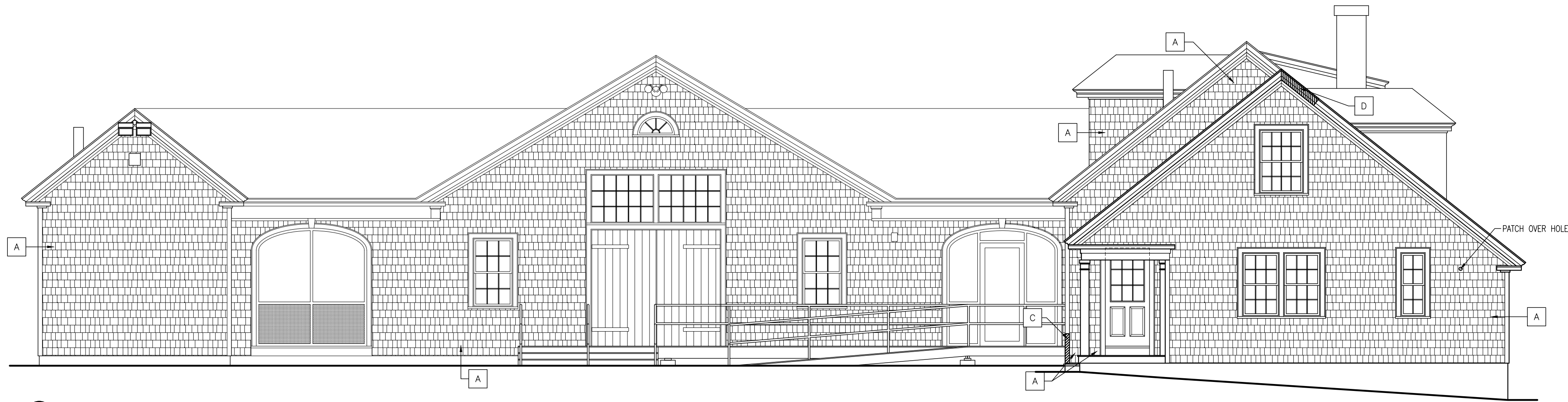
8 LEFT ELEVATION

GENERAL NOTES:

1. PERFORM SURFACE PREPARATION AND PAINTING ON ALL SIDING, TRIM, EAVES, RAKES, WINDOWS, DOORS, GUTTER, DOWNSPOUTS, AND OTHER CURRENTLY PAINTED EXTERIOR COMPONENTS.
2. PROVIDE NEW SOLID 1x WOOD PLINTH BLOCKS, PAINTED, BEHIND ALL LIGHTING FIXTURES AND SIMILAR WALL MOUNTED ITEMS.
3. RE-SET/RE-MAIL ALL EXISTING LOOSE SIDING AND TRIM BOARDS TO FIRMLY SECURE THEM TO SHEATHING.
4. **DSD #** INDICATES DEGREE OF SURFACE DEGRADATION. SEE SPECIFICATIONS FOR DETAILED SURFACE PREPARATION REQUIREMENTS. TAGS INDICATE GENERAL CONDITIONS OF WALL SURFACES. SPOT LOCATIONS OF WALL SURFACES MAY EXHIBIT LOWER OR HIGHER DEGREES OF SURFACE DEGRADATION. THE CONTRACTOR SHALL INSPECT ALL SURFACES PRIOR TO PAINTING AND PROVIDE ADEQUATE SURFACE PREPARATION IN ACCORDANCE WITH THE SPECIFICATION.

KEY NOTES

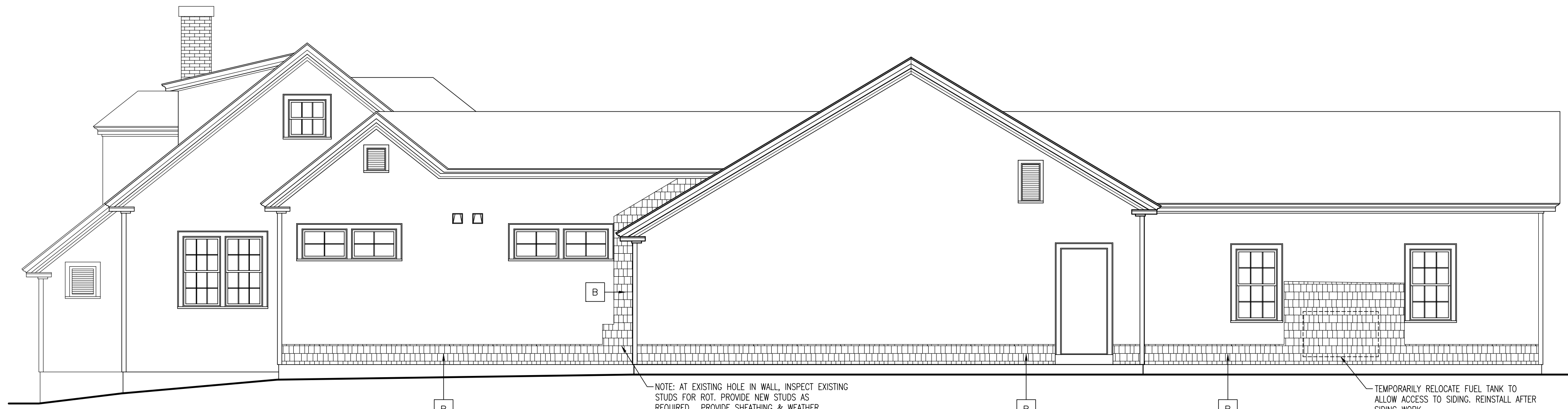
- A. REFASTEN EXISTING LOOSE SIDING.
- B. PATCH AND REPAIR EXISTING CLAPBOARDS.
- C. REATTACH EXISTING DOWNSPOUT. PATCH AND REPAIR AS REQUIRED. PROVIDE NEW DOWNSPOUT BRACKETS AS REQUIRED. RECONNECT TO EXISTING SUBSURFACE DRAIN.
- D. PROVIDE AND INSTALL NEW WOOD CLAPBOARD TO MATCH EXISTING.
- E. CAREFULLY REMOVE AND SALVAGE ALL LOOSE WOOD SIDING. INSPECT WEATHER BARRIER & SHEATHING, AND REPLACE AS REQUIRED. REINSTALL SALVAGED WOOD SIDING.
- F. REMOVE PORTION OF DAMAGED TRIM BOARDS TO A STABLE POINT. SALVAGE MAXIMUM PORTION OF BOARD POSSIBLE. PROVIDE NEW TRIM BOARD TO MATCH EXISTING. PROVIDE SCARF JOINTS WHERE NEW AND EXISTING BOARDS MEET. PAINT NEW BOARDS TO MATCH EXISTING.
- G. REMOVE EXISTING LOUVERED DOOR LEAF FOR RECONSTRUCTION. USE EXISTING DOOR AS A TEMPLATE FOR NEW COMPONENTS. PATCH AND REPAIR DOOR LEAF TO MATCH EXISTING. REINSTALL RESTORED DOOR.
- H. PATCH AND REPAIR EXISTING CORNER BOARD.
- I. PROVIDE AND INSTALL NEW TRIM BOARD TO MATCH EXISTING.



1 FRONT ELEVATION



2 RIGHT ELEVATION



3 REAR ELEVATION

GENERAL NOTES:

1. AT ALL AREAS OF SIDING REMOVAL, CONTRACTOR SHALL THOROUGHLY INSPECT EXISTING WEATHER BARRIER, SHEATHING & WOOD STUDS. REPLACE WITH NEW MATERIALS, IN KIND, AS REQUIRED.
2. PROVIDE NEW SOLID 1x WOOD PLINTH BLOCKS, PAINTED, BEHIND ALL LIGHTING FIXTURES AND SIMILAR WALL MOUNTED ITEMS.
3. CLEAR ALL LOOSE LEAF LITTER AND DEBRIS FROM AROUND ALL SIDES OF BUILDING TO PROVIDE MIN. 6" BETWEEN BOTTOM OF SIDING AND GRADE.

KEY NOTES

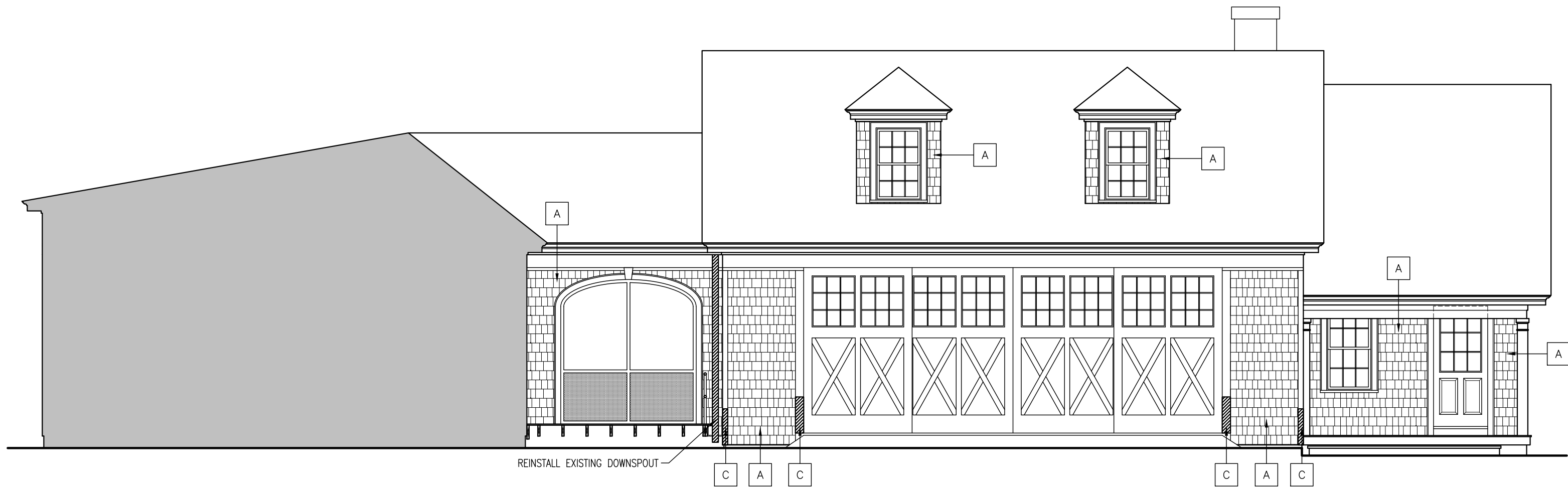
- A. REMOVE EXISTING SHINGLE SIDING COMPLETE. INSTALL NEW CEDAR SHINGLES TO MATCH EXISTING. COURSING TO ALIGN WITH EXISTING COURSING.
- B. REMOVE PORTION OF EXISTING SHINGLE SIDING AS INDICATED. INSTALL NEW CEDAR SHINGLES TO MATCH EXISTING. COURSING TO ALIGN WITH EXISTING COURSING. PROVIDE NEW SHEATHING AND WEATHER BARRIER.
- C. REMOVE PORTION OF DAMAGED TRIM BOARDS TO A STABLE POINT. SALVAGE MAXIMUM PORTION OF BOARD POSSIBLE. PROVIDE NEW TRIM BOARD TO MATCH EXISTING. PROVIDE SCARP JOINTS WHERE NEW AND EXISTING BOARDS MEET. PAINT NEW BOARDS TO MATCH EXISTING.
- D. PATCH AND REPAIR EXISTING ROOF TRIM BOARDS, FLASHING & SHINGLES TO MATCH EXISTING.

FARMS Data:

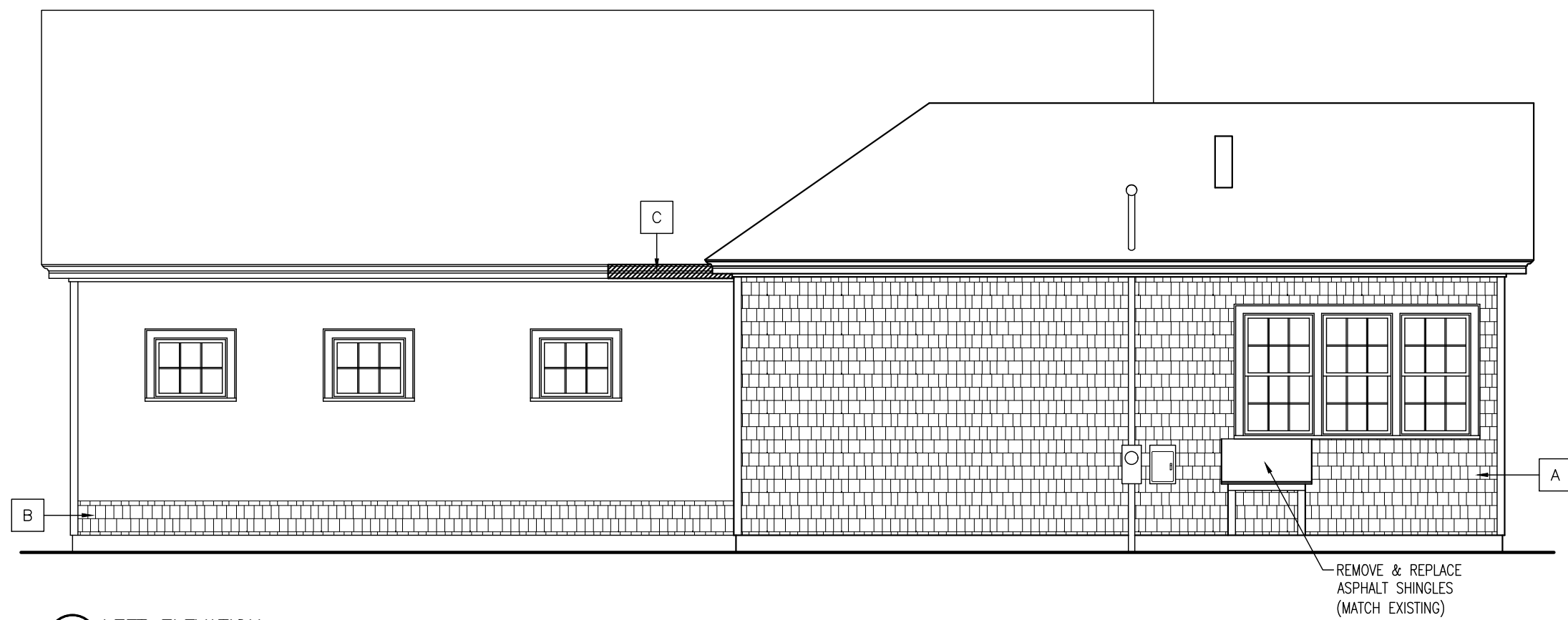
BUILDING #: WCM02
BUILDING NAME: Visitors Center

PROJECT #: ARP 2412
DRAWN BY: SDC
DATE: 5/1/2024
SCALE: 3/16" = 1'-0"
REVISED: -

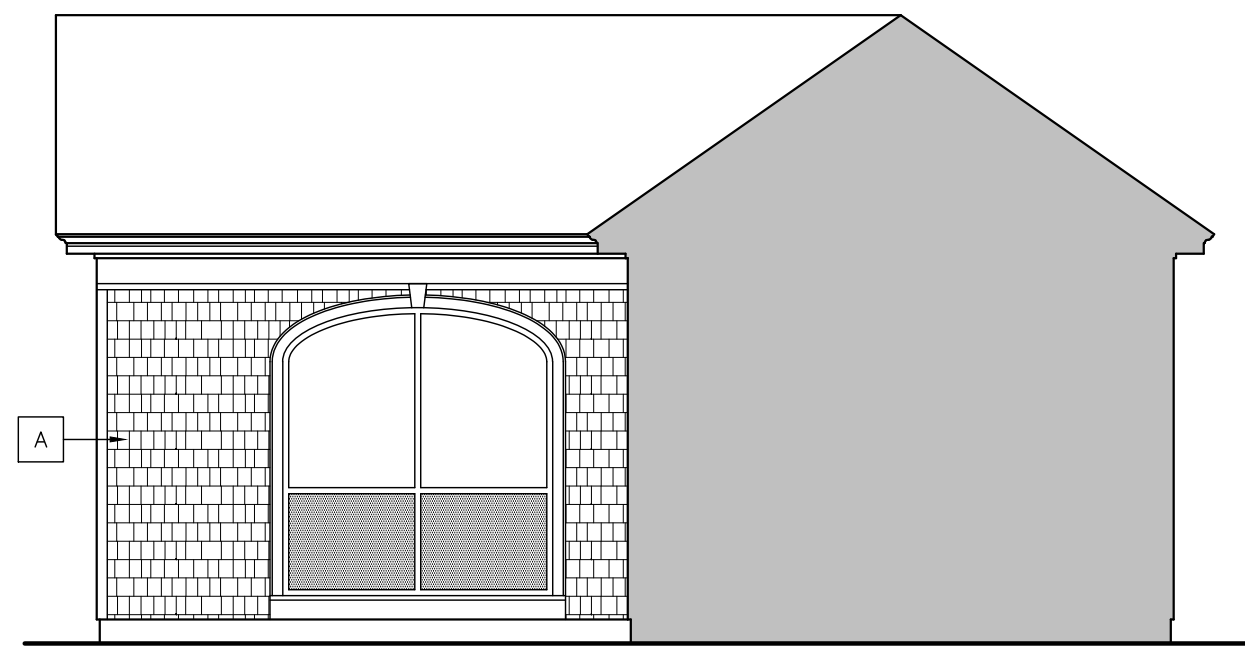
COPYRIGHT © BY STATE OF NEW HAMPSHIRE DEPARTMENT OF NATURAL & CULTURAL RESOURCES. ALL RIGHTS RESERVED. NO REPRODUCTION WITHOUT PERMISSION.



4 LEFT ELEVATION



5 LEFT ELEVATION



6 RIGHT ELEVATION

GENERAL NOTES:

1. AT ALL AREAS OF SIDING REMOVAL, CONTRACTOR SHALL THOROUGHLY INSPECT EXISTING WEATHER BARRIER, SHEATHING & WOOD STUDS. REPLACE WITH NEW MATERIALS, IN KIND, AS REQUIRED.
2. PROVIDE NEW SOLID 1x WOOD PLINTH BLOCKS, PAINTED, BEHIND ALL LIGHTING FIXTURES AND SIMILAR WALL MOUNTED ITEMS.
3. CLEAR ALL LOOSE LEAF LITTER AND DEBRIS FROM AROUND ALL SIDES OF BUILDING TO PROVIDE MIN. 6" BETWEEN BOTTOM OF SIDING AND GRADE.

KEY NOTES

- A. REMOVE EXISTING SHINGLE SIDING COMPLETE. INSTALL NEW CEDAR SHINGLES TO MATCH EXISTING. COURSING TO ALIGN WITH EXISTING COURSING.
- B. REMOVE PORTION OF EXISTING SHINGLE SIDING AS INDICATED. INSTALL NEW CEDAR SHINGLES TO MATCH EXISTING. COURSING TO ALIGN WITH EXISTING COURSING. PROVIDE NEW SHEATHING AND WEATHER BARRIER.
- C. REMOVE PORTION OF DAMAGED TRIM BOARDS TO A STABLE POINT. SALVAGE MAXIMUM PORTION OF BOARD POSSIBLE. PROVIDE NEW TRIM BOARD TO MATCH EXISTING. PROVIDE SCARF JOINTS WHERE NEW AND EXISTING BOARDS MEET. PAINT NEW BOARDS TO MATCH EXISTING.

FARMS Data:

BUILDING #: WCM02
BUILDING NAME: Visitors Center

PROJECT #: ARP 2412
DRAWN BY: SDC
DATE: 5/1/2024
SCALE: 3/16" = 1'-0"
REVISED: -

COPYRIGHT © BY STATE OF NEW HAMPSHIRE DEPARTMENT OF NATURAL & CULTURAL RESOURCES. ALL RIGHTS RESERVED. NO REPRODUCTION WITHOUT PERMISSION.