

Legend		Exist.	Prop.	Exist.	Prop.	
						PROPERTY LINE
						PROJECT LIMIT LINE
						RIGHT-OF-WAY/PROPERTY LINE
						EASEMENT
						BUILDING SETBACK
						PARKING SETBACK
						BASELINE
						CONSTRUCTION LAYOUT
						ZONING LINE
						TOWN LINE
						LIMIT OF DISTURBANCE
						HIGHEST OBSERVABLE TIDE LINE
						FLOODPLAIN
						T B Z
						WB50
						NWB150
						PS250
						GRAVEL ROAD
						EDGE OF PAVEMENT
						BITUMINOUS BERM
						BITUMINOUS CURB
						CONCRETE CURB
						CURB AND GUTTER
						EXTRUDED CONCRETE CURB
						MONOLITHIC CONCRETE CURB
						PRECAST CONC. CURB
						SLOPED GRAN. EDGING
						VERT. GRAN. CURB
						LIMIT OF CURB TYPE
						SAWCUT
						BUILDING
						BUILDING ENTRANCE
						LOADING DOCK
						BOLLARD
						DUMPSTER PAD
						SIGN
						DOUBLE SIGN
						STEEL GUARDRAIL
						WOOD GUARDRAIL
						PATH
						TREE LINE
						WIRE FENCE
						FENCE
						STOCKADE FENCE
						STONE WALL
						RETAINING WALL
						STREAM / POND / WATER COURSE
						DETENTION BASIN
						HAY BALES
						SILT FENCE
						SILT SOCK / STRAW WATTLE
						MINOR CONTOUR
						MAJOR CONTOUR
						PARKING COUNT
						COMPACT PARKING STALLS
						DOUBLE YELLOW LINE
						STOP LINE
						CROSSWALK
						ACCESSIBLE CURB RAMP
						ACCESSIBLE PARKING
						VAN-ACCESSIBLE PARKING

Matchline

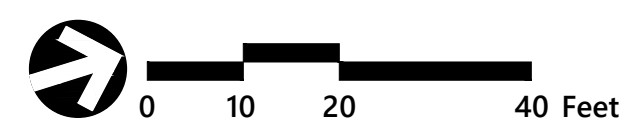
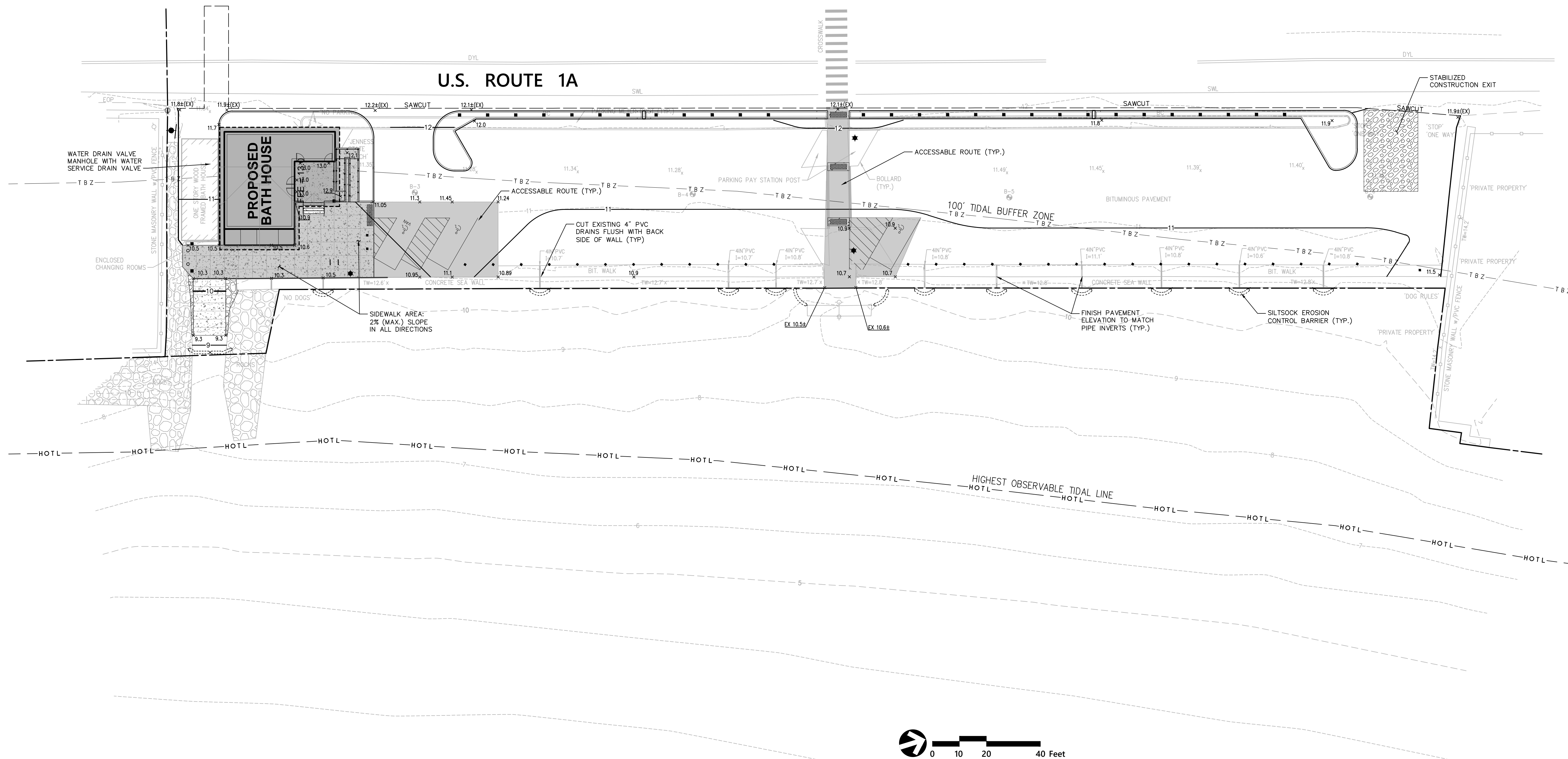
Abbreviations	
General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EXIST	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
VIF	VERIFY IN FIELD
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	RAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
PIV	POST INDICATOR VALVE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes:	
General	Layout and Materials
<ol style="list-style-type: none"> THIS SITE PLAN SET IS INTENDED TO SHOW PROPOSED SITE IMPROVEMENTS ASSOCIATED WITH THE REDEVELOPMENT OF JENNESS STATE BEACH IN RYE, NEW HAMPSHIRE. THE CONTRACTOR SHALL NOT CONSIDER THESE PLANS COMPLETE UNLESS ACCOMPANIED BY THE SPECIFICATIONS DOCUMENT FOR THE JENNESS BATHHOUSE REPLACEMENT AND PARKING LOT IMPROVEMENTS. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT). AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL BE STABILIZED WITH PLANTINGS OR OTHERWISE RECEIVE 6 INCHES OF MULCH OR LOAM AND SEED AS DIRECTED BY THE ENGINEER. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS. WORK WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER. THE CONTRACTOR SHALL EVALUATE ANY DEWATERING REQUIRED BY THE WORK TO DETERMINE IF COVERAGE UNDER THE EPA DEWATERING GENERAL PERMIT (DGP) IS REQUIRED FOR DEWATERING DISCHARGES. IF COVERAGE IS REQUIRED UNDER THE DGP, PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL FILE A DGP NOTICE OF INTENT WITH THE EPA AND NHDES FOR CONSTRUCTION DEWATERING ACTIVITIES AND COMPLY WITH ALL PERMIT REQUIREMENTS THEREIN. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT. 	<ol style="list-style-type: none"> DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED. CURB RADI ARE 3 FEET UNLESS OTHERWISE NOTED. CURBING SHALL BE VERTICAL GRANITE CURB (VGC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A LICENSED LAND SURVEYOR (LLS). PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OULETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
Utilities	Demolition
<ol style="list-style-type: none"> THE UTILITY COMPANIES SERVICING THE PROJECT AREA ARE: A. WATER: AQUARION WATER COMPANY B. SEWER: RYE SEWER COMMISSION C. ELECTRIC: EVERSOURCE D. TELEPHONE: FAIRPOINT E. CABLE TV: COMCAST & FAIRPOINT F. GAS: NONE THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT. SET INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS. RIM ELEVATIONS FOR MANHOLES AND SEWER CLEANOUTS, WATER VALVE COVERS, ELECTRIC AND TELEPHONE PULL BOXES AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS: A. PAVEMENTS AND CONCRETE SURFACES: FLUSH B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN: A. WATER PIPES SHALL BE TYPE "K" COPPER B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEMARK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASUREMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS. 	<ol style="list-style-type: none"> CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.
Construction Sequence	Existing Conditions Information
<ol style="list-style-type: none"> SURVEY AND STAKE LIMITS OF DISTURBANCE. INSTALL EROSION CONTROL BARRIERS, CONSTRUCTION EXITS, ETC. PRIOR TO START OF CONSTRUCTION, TO BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER. CLEAR ALL AREAS TO BE DISTURBED BY CONSTRUCTION AND PERFORM DEMOLITION OPERATIONS. REPAIR, CLEAN, AND REPLACE ANY SEDIMENT CONTROLS DAMAGED DURING AND/OR AFTER RAINFALL EVENTS. STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK AND STOCKPILE EXCESS MATERIAL. CONSTRUCT TEMPORARY SEDIMENTATION BASINS AS REQUIRED. PERFORM PRELIMINARY SITE GRADING AND CONSTRUCT TEMPORARY DIVERSION SWALES AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT THE PRELIMINARY GRADING ALLOWS SURFACE WATER RUN-OFF FROM UNSTABILIZED AREAS TO FLOW TOWARDS THE TEMPORARY SEDIMENTATION BASINS. PREPARE BUILDING PAD TO ENABLE BUILDING CONSTRUCTION TO BEGIN. INSTALL SEWER SERVICE, WATER SERVICE, AND OTHER UTILITIES IN ACCORDANCE WITH THE PLANS AND DETAILS. PERFORM FINAL/FINE GRADING INCLUDING SLOPE STABILIZATION BLANKETS WHERE REQUIRED. PERFORM ALL REMAINING SITE CONSTRUCTION. (I.E. BUILDING AND PAVEMENT AREAS). LOAM AND SEED OR PLANT ALL REMAINING DISTURBED AREAS. REMOVE TEMPORARY EROSION CONTROL MEASURES, SILT FENCE, ETC. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER. CLEAR ALL DRAINAGE WAYS AND PIPES WITHIN THE PROJECT LIMITS OF ALL SILT AND DEBRIS. 	<ol style="list-style-type: none"> BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED FROM PLANS OF RECORD PROVIDED BY NHRED. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VANASSE HANGEN BRUSTLIN DURING DECEMBER, 2015. DELINEATION OF THE HIGHEST OBSERVABLE TIDE LINE WAS PERFORMED BY VANASSE HANGEN BRUSTLIN ON DECEMBER 29, 2015 AND WAS FIELD LOCATED BY GPS. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 1988. GEO TECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM TERRACON CONSULTANTS, INC.
State Permits	Document Use
<ol style="list-style-type: none"> NHDES WETLAND PERMIT - PENDING 	<ol style="list-style-type: none"> THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.


Division of Parks and Recreation Department of Resources and Economic Development																																																					
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Structural Engineer 																																																					
Mechanical, Electrical & Plumbing Engineer 																																																					
Drawing Set Log <table border="1"> <thead> <tr> <th>No.</th> <th>Revision</th> <th>Date</th> <th>Appvd.</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>Revised Building Location and Parking Layout</td> <td>9/14/2016</td> <td>MJV</td> </tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>		No.	Revision	Date	Appvd.	1	Revised Building Location and Parking Layout	9/14/2016	MJV																																												
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Designed by MJV Drawn by MJV Checked by CAD checked by MJV Approved by																																																					
Scale None																																																					
Project Title and Location Jenness Bathhouse Replacement and Parking Lot Improvements 2280 Ocean Boulevard Rye, New Hampshire 03870																																																					
Issued for Construction Documents ISSUED: June 30, 2016																																																					
Project Number NHBPW - 80877B VHB - 52348.05	Stamp 																																																				
Drawing Title Legend and General Notes																																																					
Drawing Number C - 1																																																					

Notes:

1. GRADING WITHIN THE ACCESSIBLE ROUTES SHALL MEET THE FOLLOWING CRITERIA IN ACCORDANCE WITH ADA REQUIREMENTS:
 - A) LONGITUDINAL SLOPE: 5% (MAX)
 - B) CROSS SLOPE: 2% (MAX)
 - C) PARKING SPACES / ACCESS AISLES: 2% (MAX) - ALL DIRECTIONS
 - D) RAMPS AND CURB RAMPS: REFER TO APPLICABLE DETAILS.



Owner




Division of Parks and Recreation
New Hampshire
Department of Resources and Economic Development

Administrator

Division of Public Works, Design and Construction
New Hampshire
Department of Administrative Services

Civil Engineer / Landscape Architect / Surveyor




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Architect


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sdarchitects.com

Structural Engineer



FoleyBuhlRoberts & ASSOCIATES, INC.
structural engineers
T 603-822-4578
F 603-822-4593 www.frb.com 500 Commercial Street
Manchester NH 03101

Mechanical, Electrical & Plumbing Engineer



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MECHANICAL ENGINEER
500 Upper St. Bldg. 200
Manchester, NH 03103

Drawing Set Log

No.	Revision	Date	Appvd.
1	Revised Building Location and Parking Layout	9/14/2016	MJV

Designed by: MJV | Drawn by: MJV | Checked by: MJV
CAD checked by: | Approved by: MJV

Scale: 1" = 20'

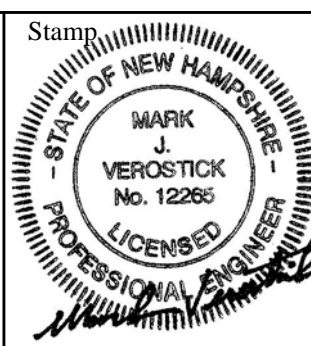
Project Title and Location

Jenness Bathhouse Replacement and Parking Lot Improvements
2280 Ocean Boulevard
Rye, New Hampshire 03870

Issued for

Construction Documents
ISSUED: June 30, 2016

Project Number: NHBPW - 80877B
VHB - 52348.05

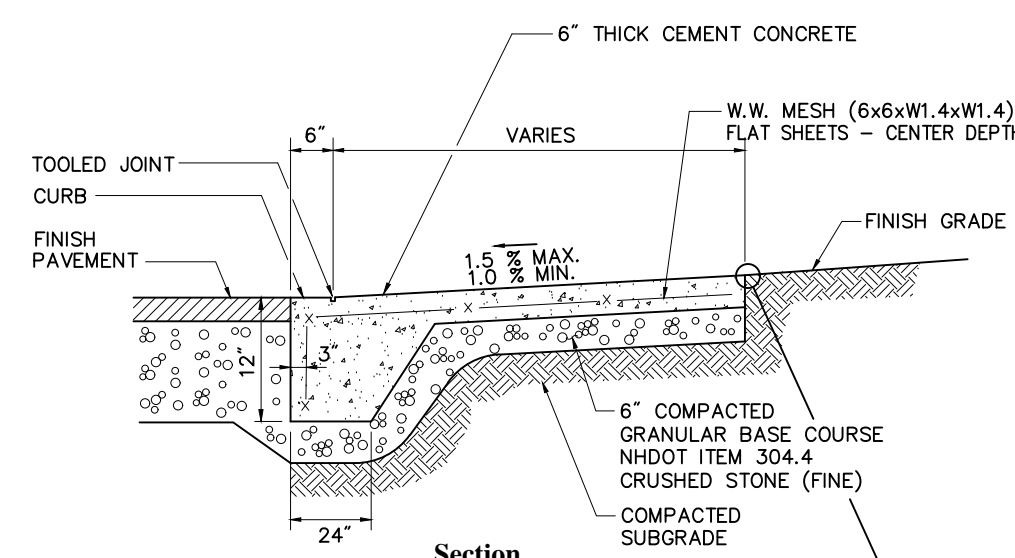


Drawing Title

Grading, Drainage and Erosion Control Plan

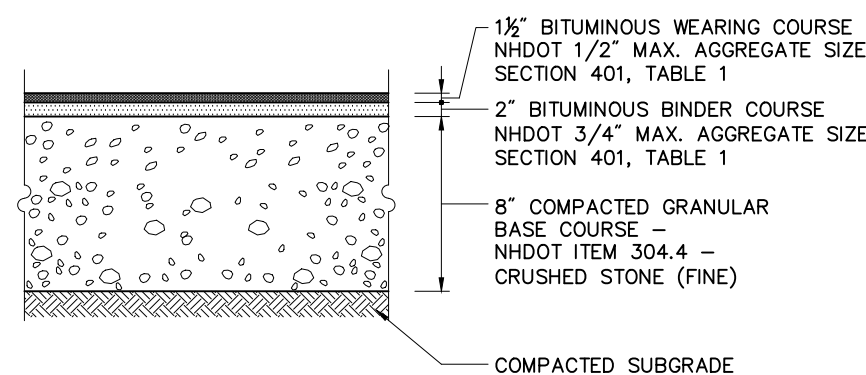
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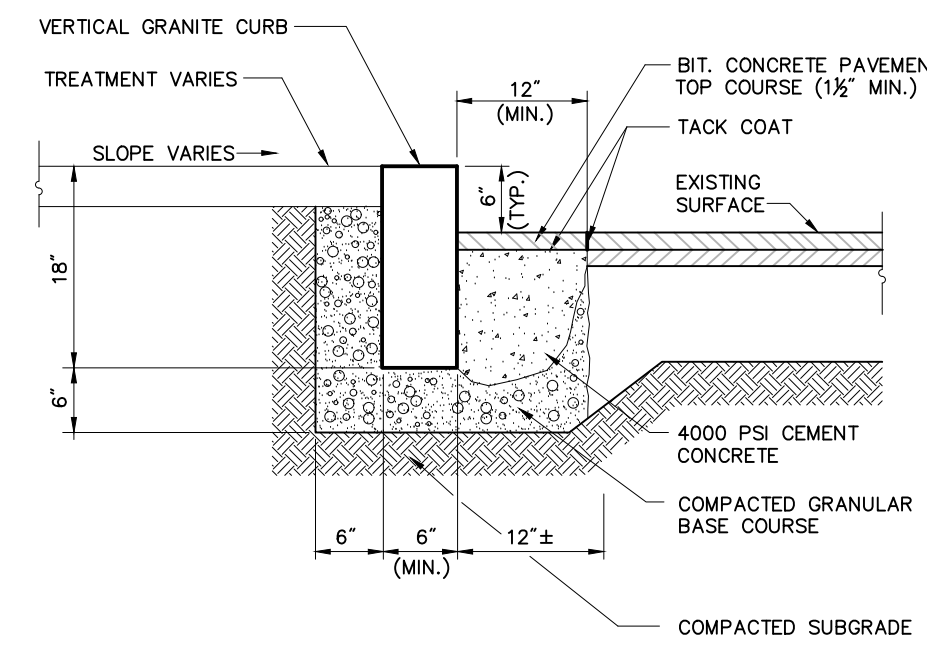


- Notes:**
- CONCRETE FOR SIDEWALKS TO BE 4000 PSI, TYPE II, 6% (1.5%) AIR ENTRAINED.
 - PROVIDE EXPANSION JOINTS AT MAX. 30 FT. O.C. WITH PRE-FORMED EXPANSION JOINT FILLER & SEALER.
 - PROVIDE TOOLED CONTROL JOINTS AT MAX. 6' O.C.
 - PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

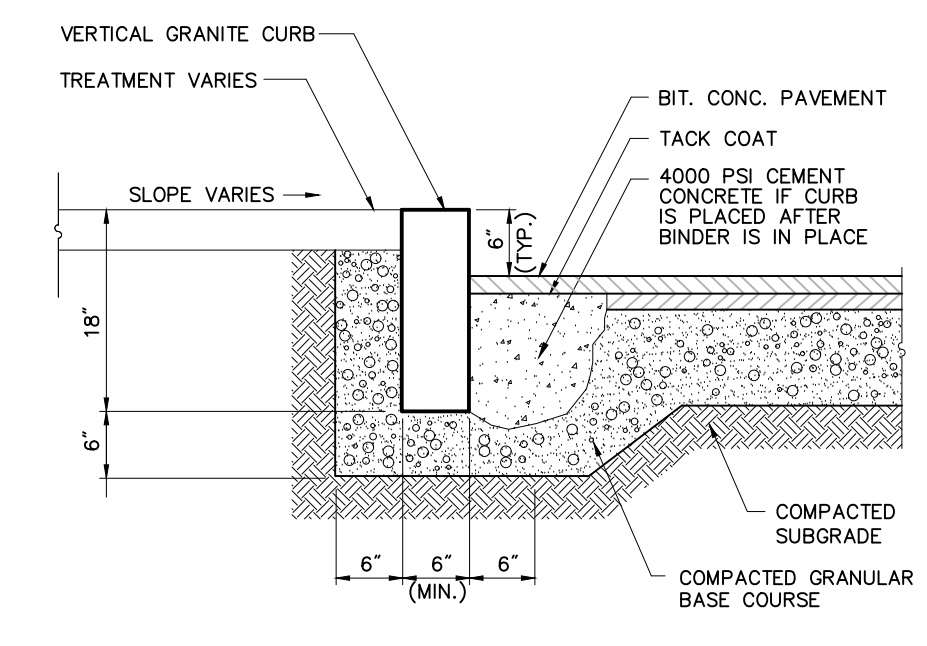
Flush Monolithic Concrete Sidewalk 12/11
N.T.S. Source: VHB REV LD_421



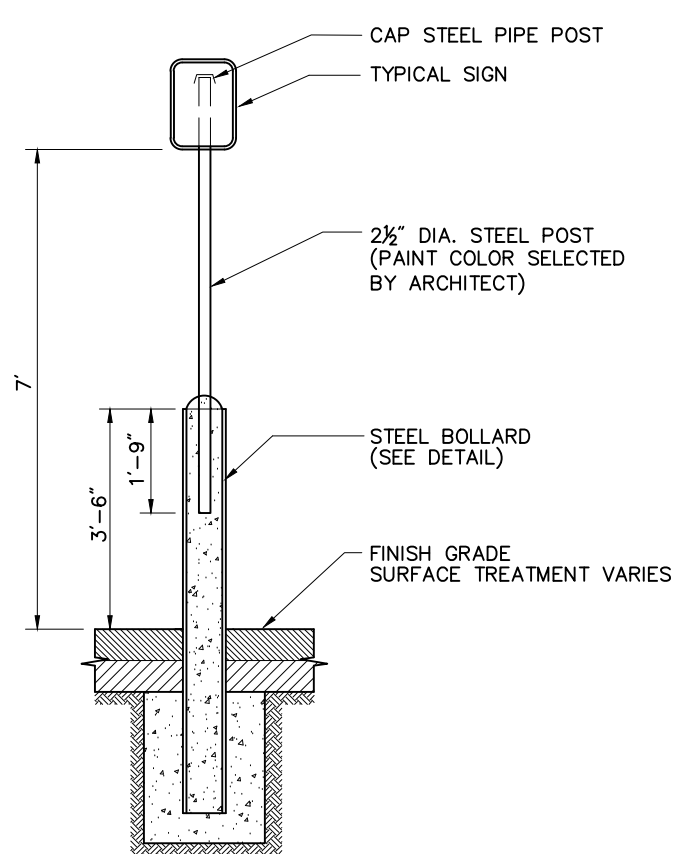
Bituminous Concrete Pavement Sections 12/11
N.T.S. Source: VHB REV LD_430



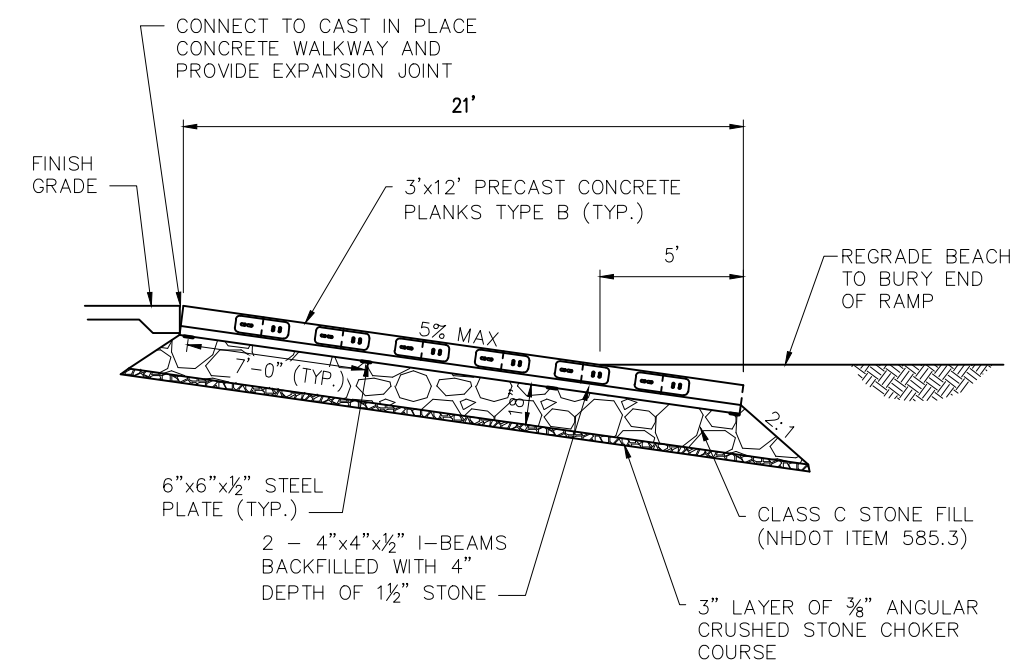
Vertical Granite Curb (VGC) Set In Existing Pavement 12/11
N.T.S. Source: VHB REV LD_403



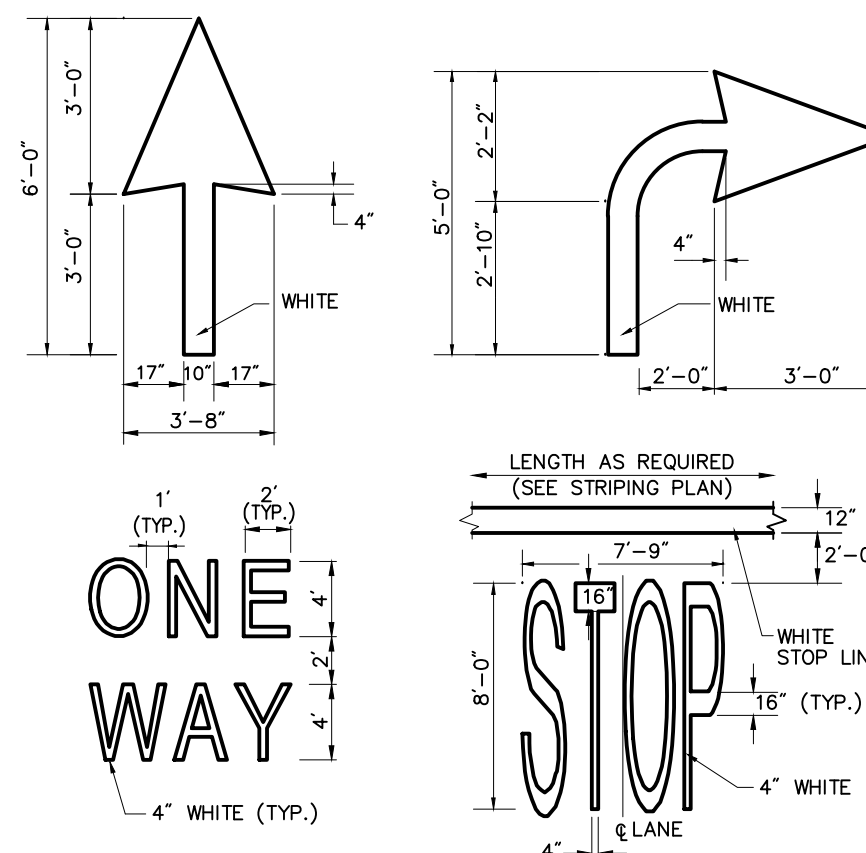
Vertical Granite Curb (VGC) 6/12
N.T.S. Source: VHB REV LD_402



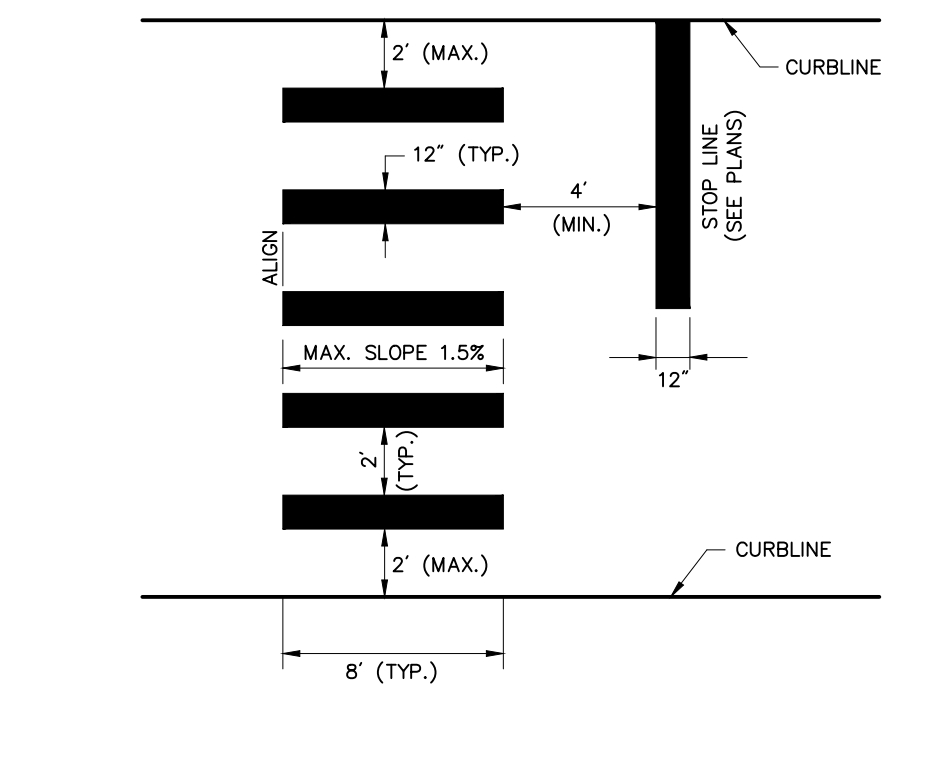
Bollard Mounted Sign 11/05
N.T.S. Source: VHB REV LD_703-NH



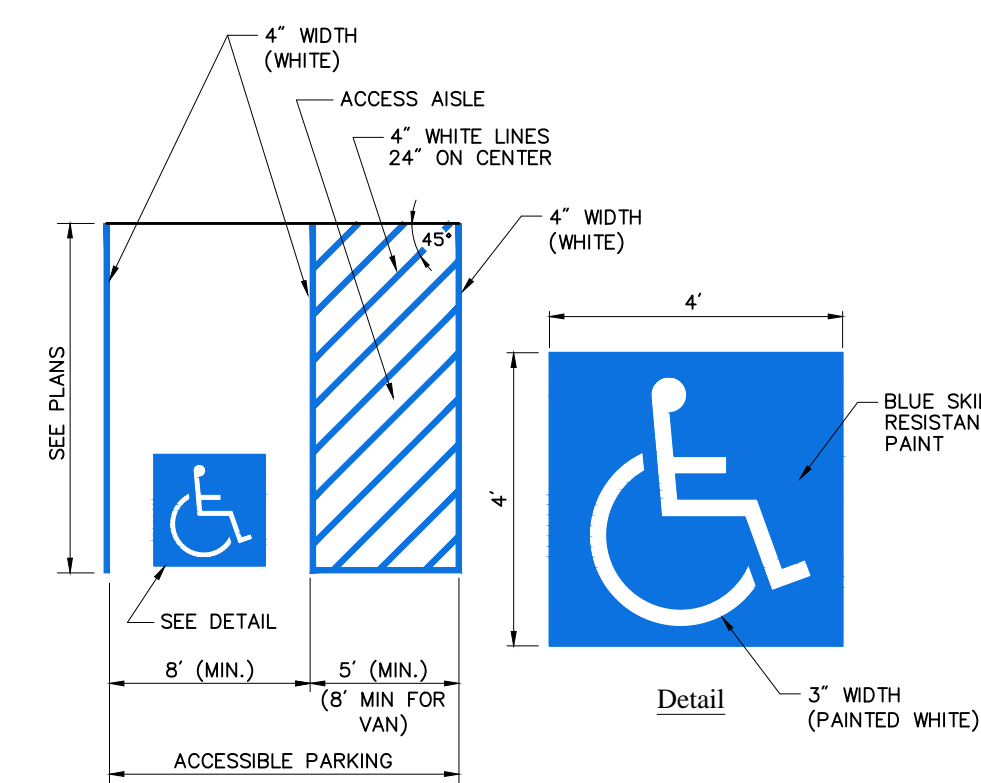
Equipment Ramp Longitudinal Section 10/05
N.T.S. Source: NH Fish and Game Dept.



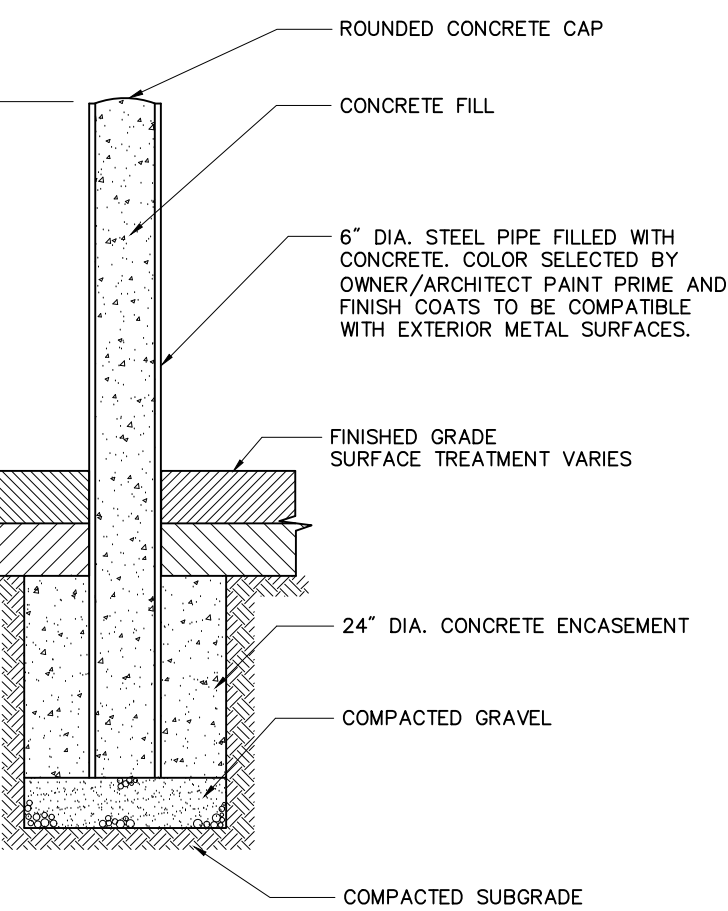
Pavement Markings - On Site 6/08
N.T.S. Source: VHB REV LD_554



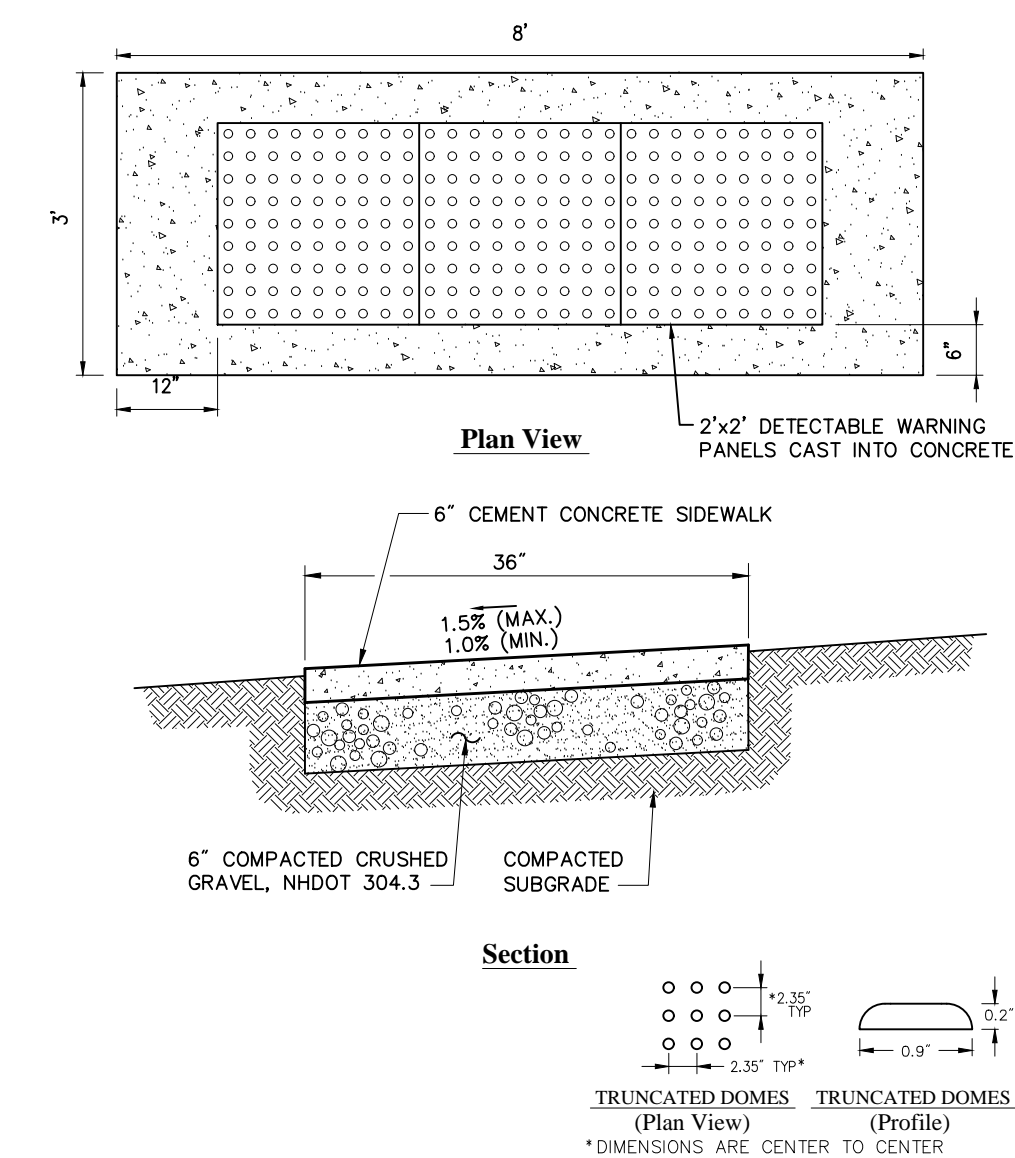
Crosswalk 6/08
N.T.S. Source: VHB REV LD_553



Accessible Parking Space 12/14
N.T.S. Source: VHB REV LD_552-NH



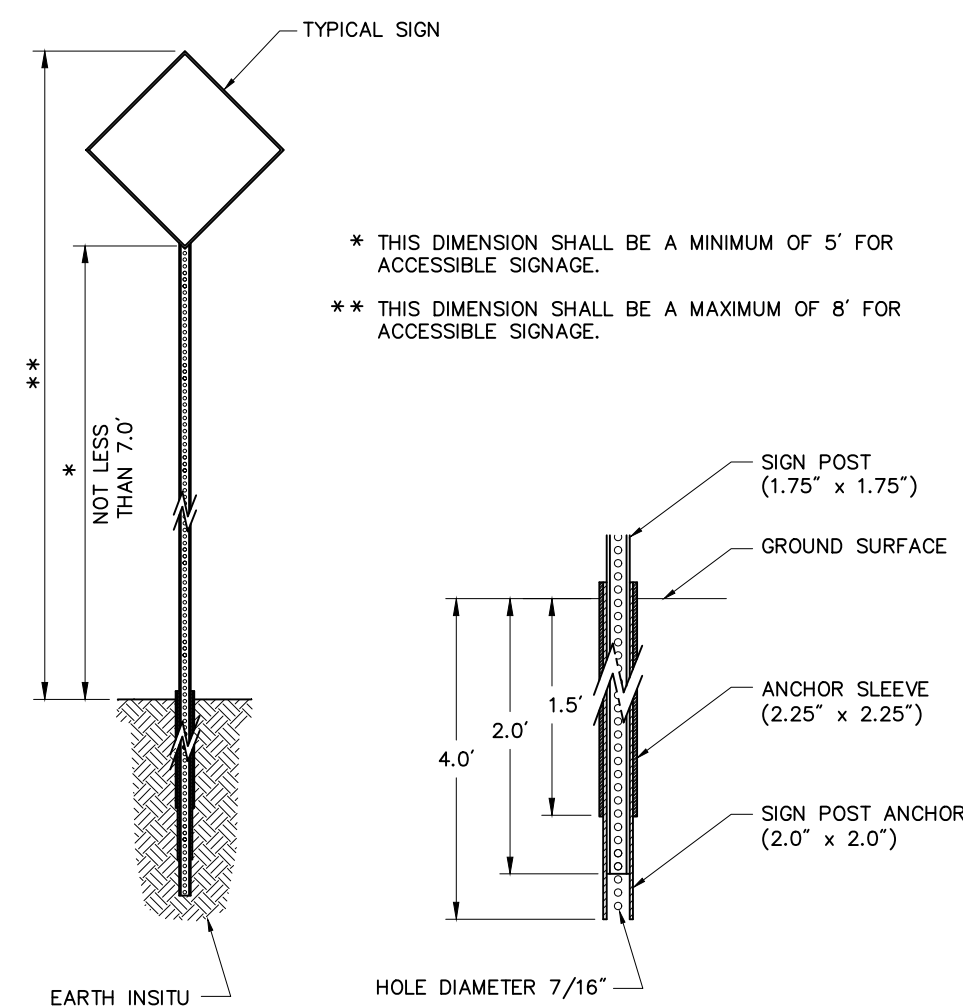
Steel Bollard 6/08
N.T.S. Source: VHB REV LD_700



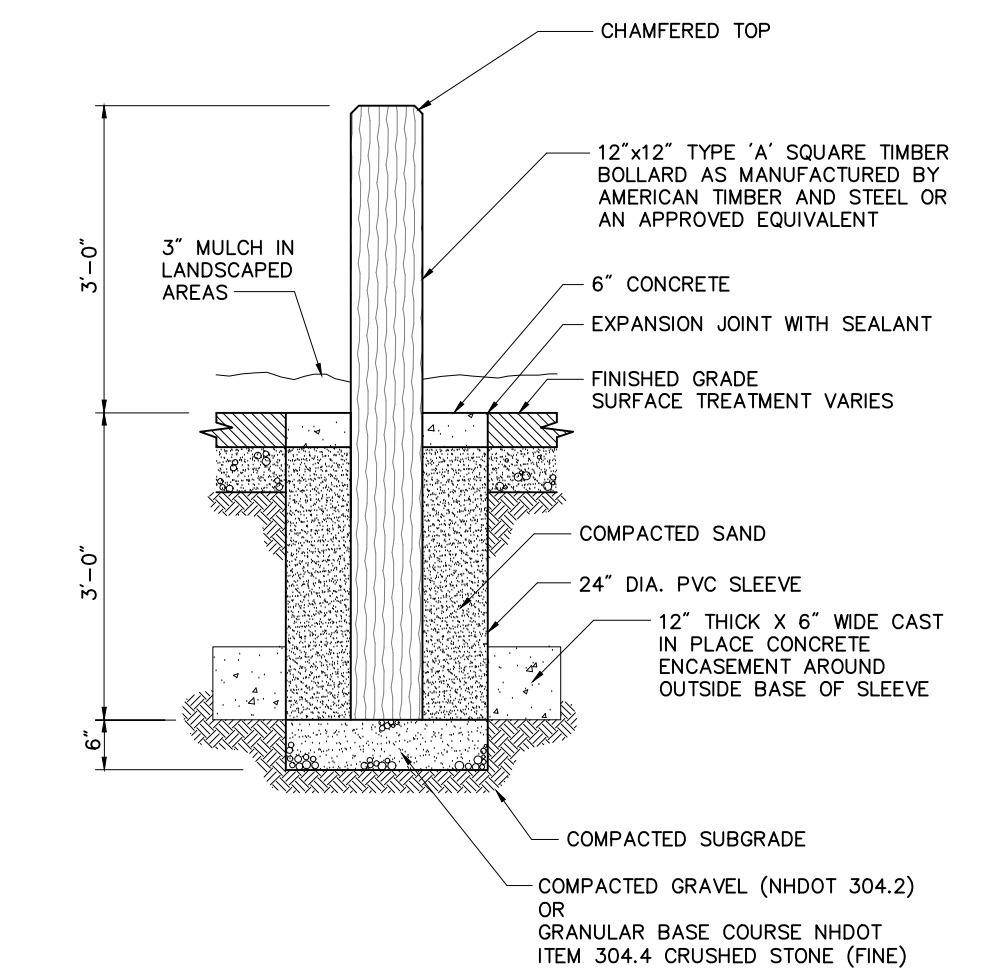
Detectable Warning Concrete Apron 12/11
N.T.S. Source: VHB REV LD_421

Sign Summary			
M.U.T.C.D. Number	Specification Width	Height	Desc.
R1-1	30"	30"	STOP
R6-1L	36"	12"	ONE WAY
R5-1	30"	30"	NO PARKING
R7-8	12"	18"	RESERVED PARKING
R7-8P	12"	6"	NO PARKING
R8-3	12"	18"	NO PARKING
R-51	18"	24"	APPROVED VEHICLES ONLY

Sign Summary Chart 12/11
N.T.S. Source: VHB REV LD_702



Sign Post - Type 'B' 12/12
N.T.S. Source: VHB REV LD_702



Timber Bollard 12/14
N.T.S. Source: VHB REV LD_552-NH



Owner
Division of Parks and Recreation
New Hampshire
Department of Resources and Economic Development

Administrator
Division of Public Works, Design and Construction
New Hampshire
Department of Administrative Services

Civil Engineer / Landscape Architect / Surveyor



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603.391.3900
Architect
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Mechanical, Electrical & Plumbing Engineer
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500 Depot St. Ramsey, NH
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Drawing Set Log

No.	Revision	Date	Apprv.
1	Revised Building Location and Parking Layout	9/14/2016	MJV

Designed by MJV Drawn by MJV Checked by MJV
CAD checked by Approved by

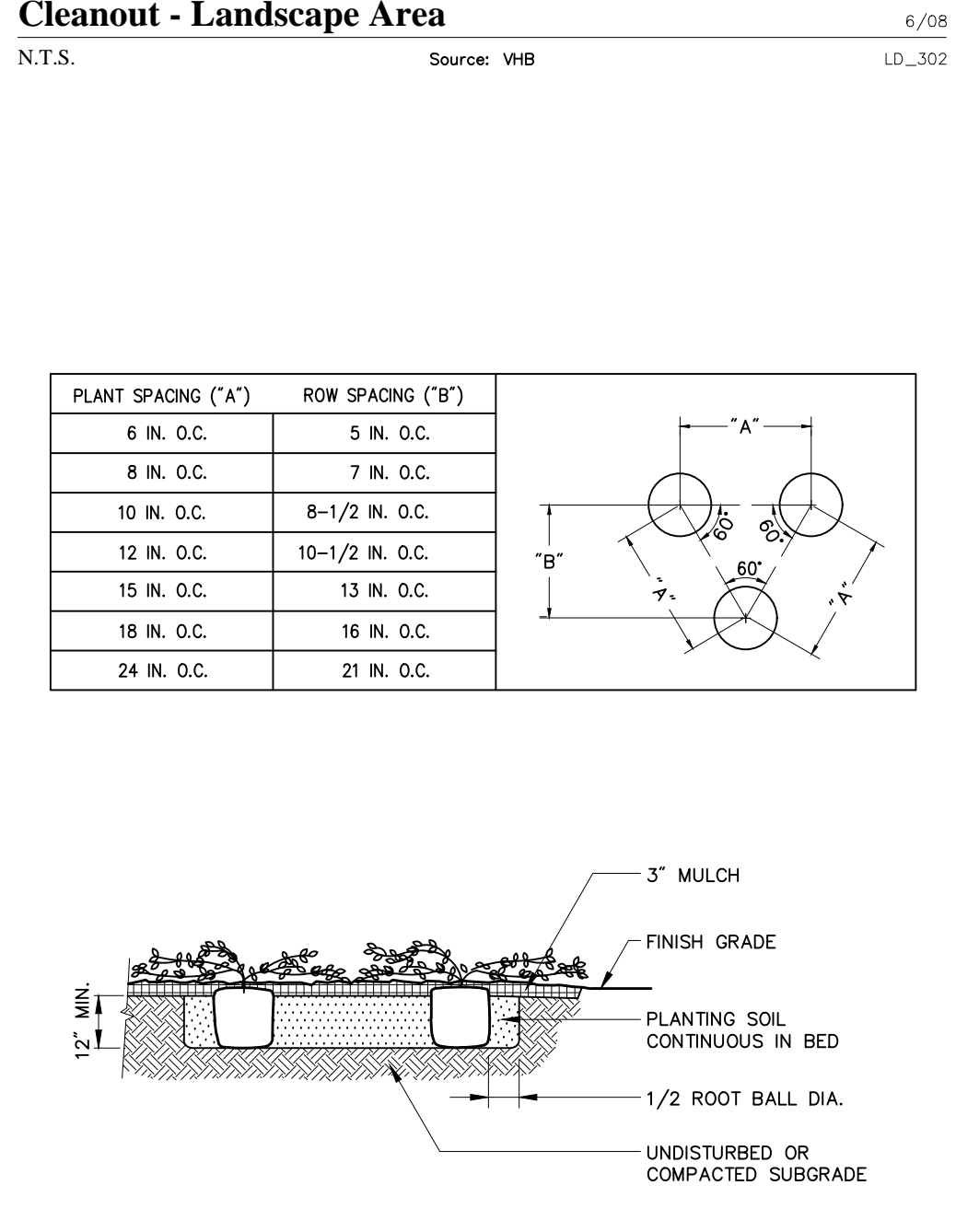
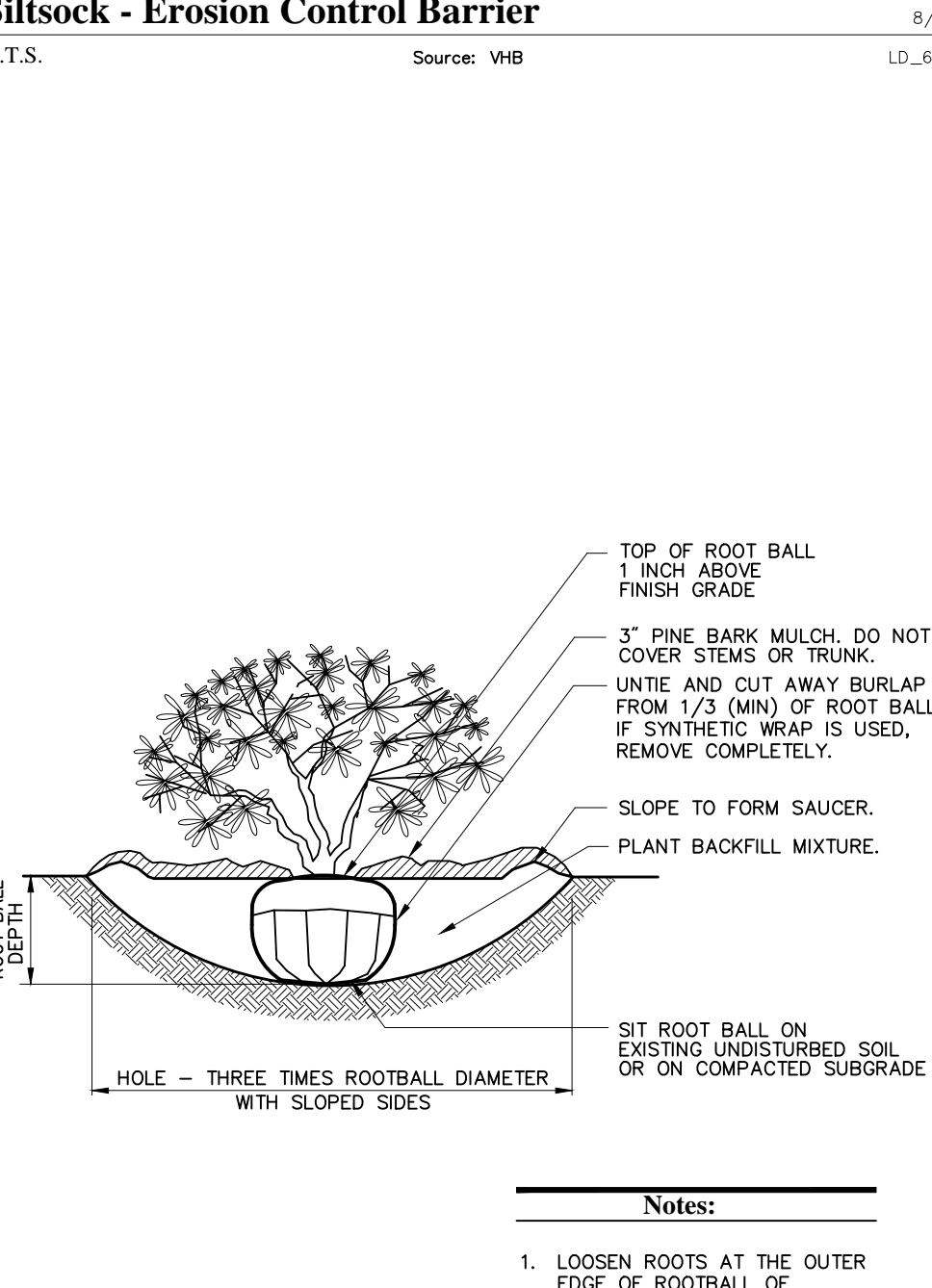
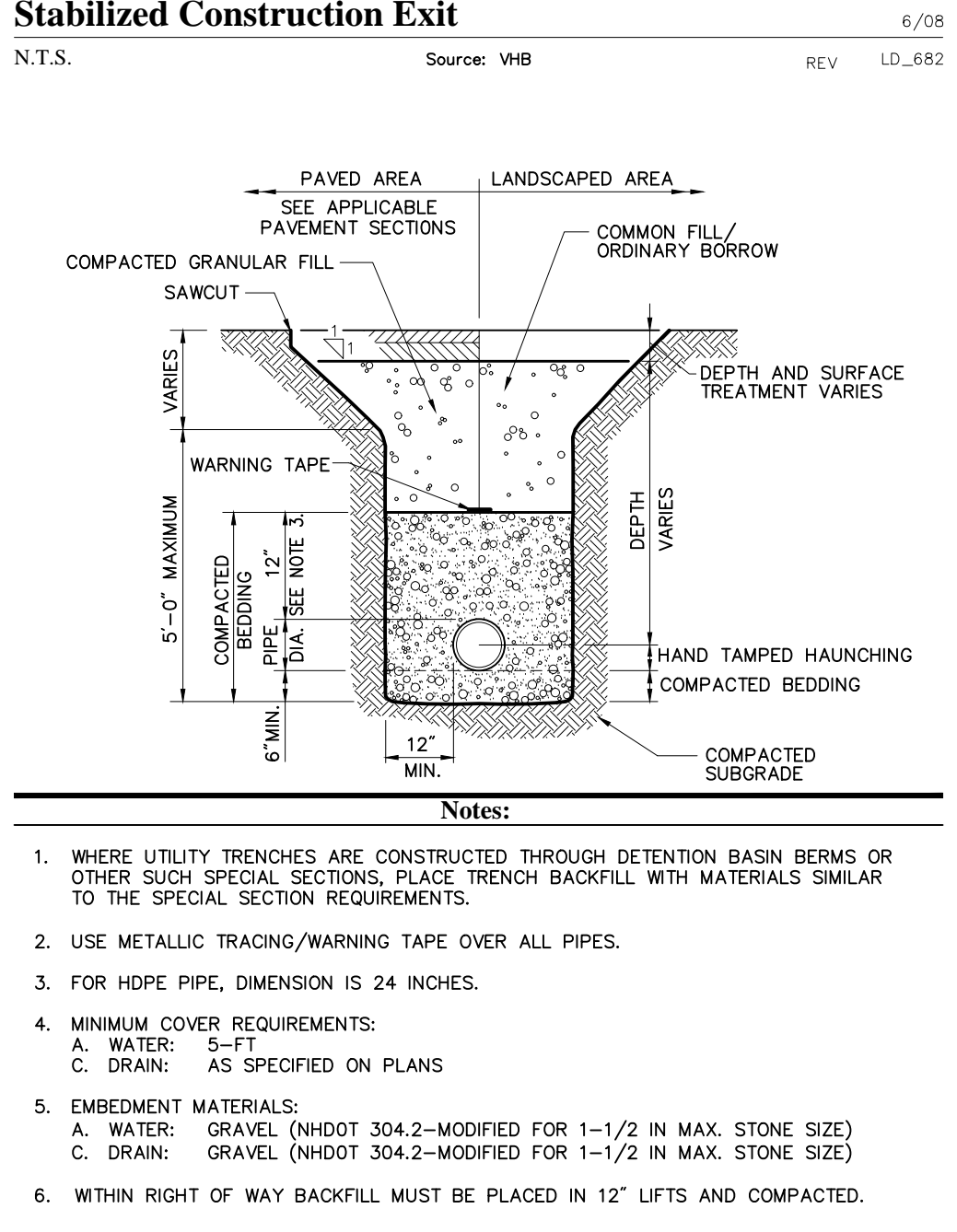
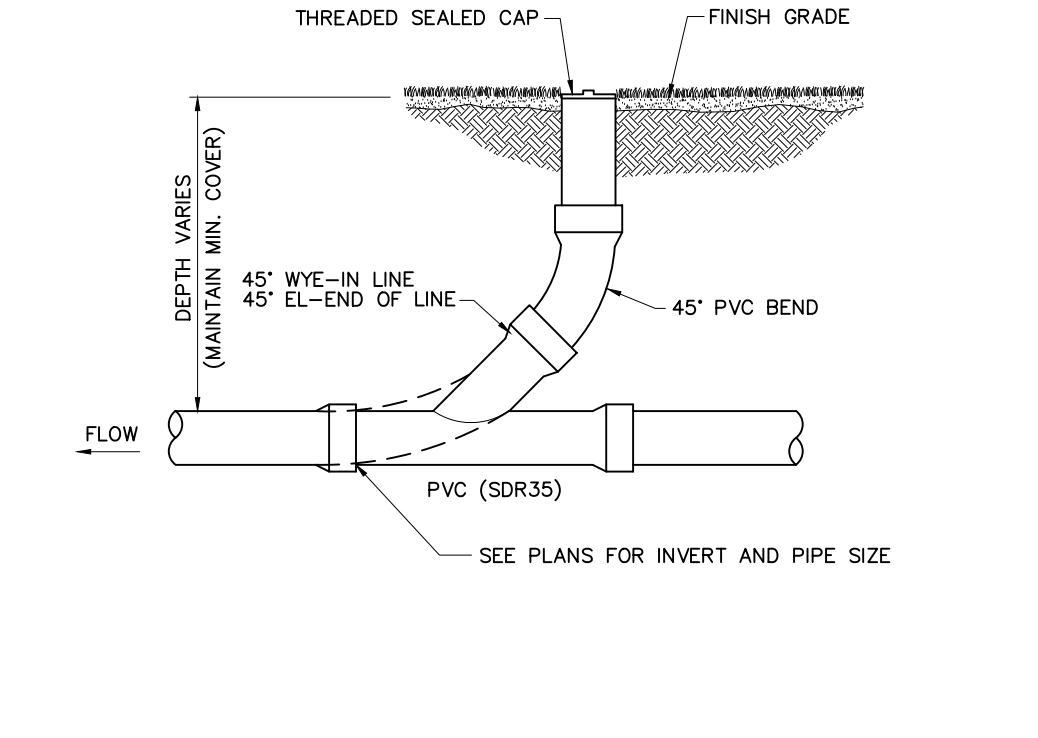
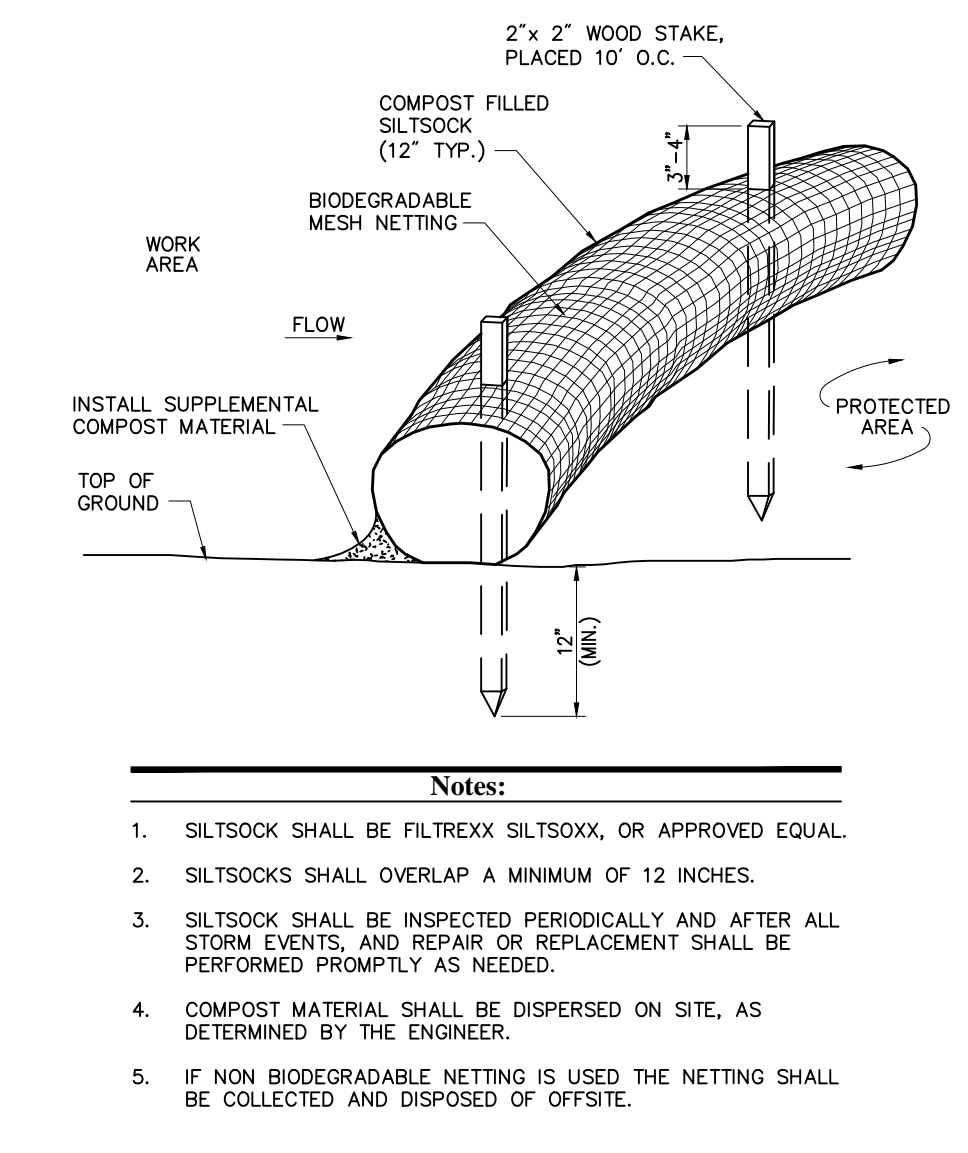
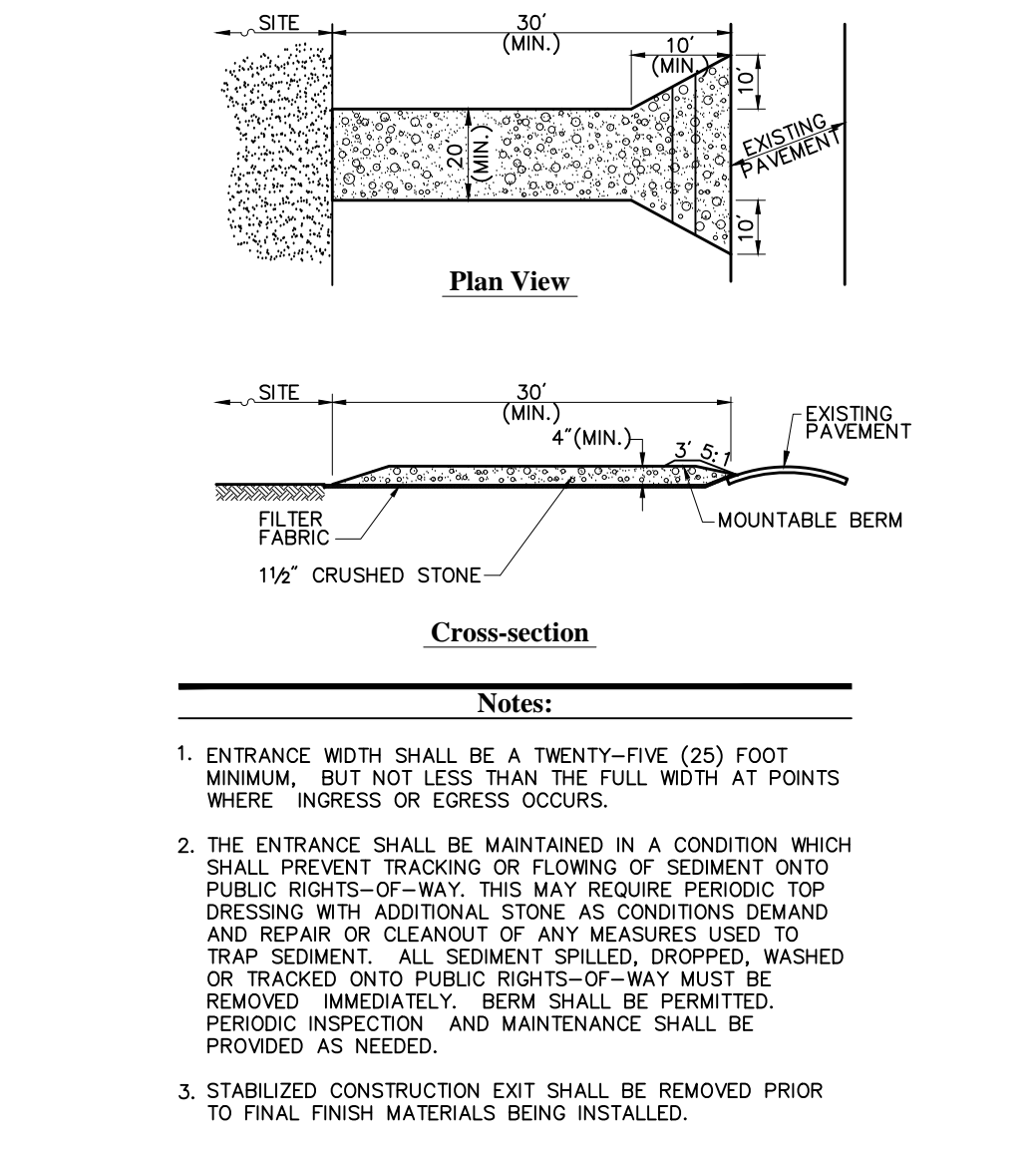
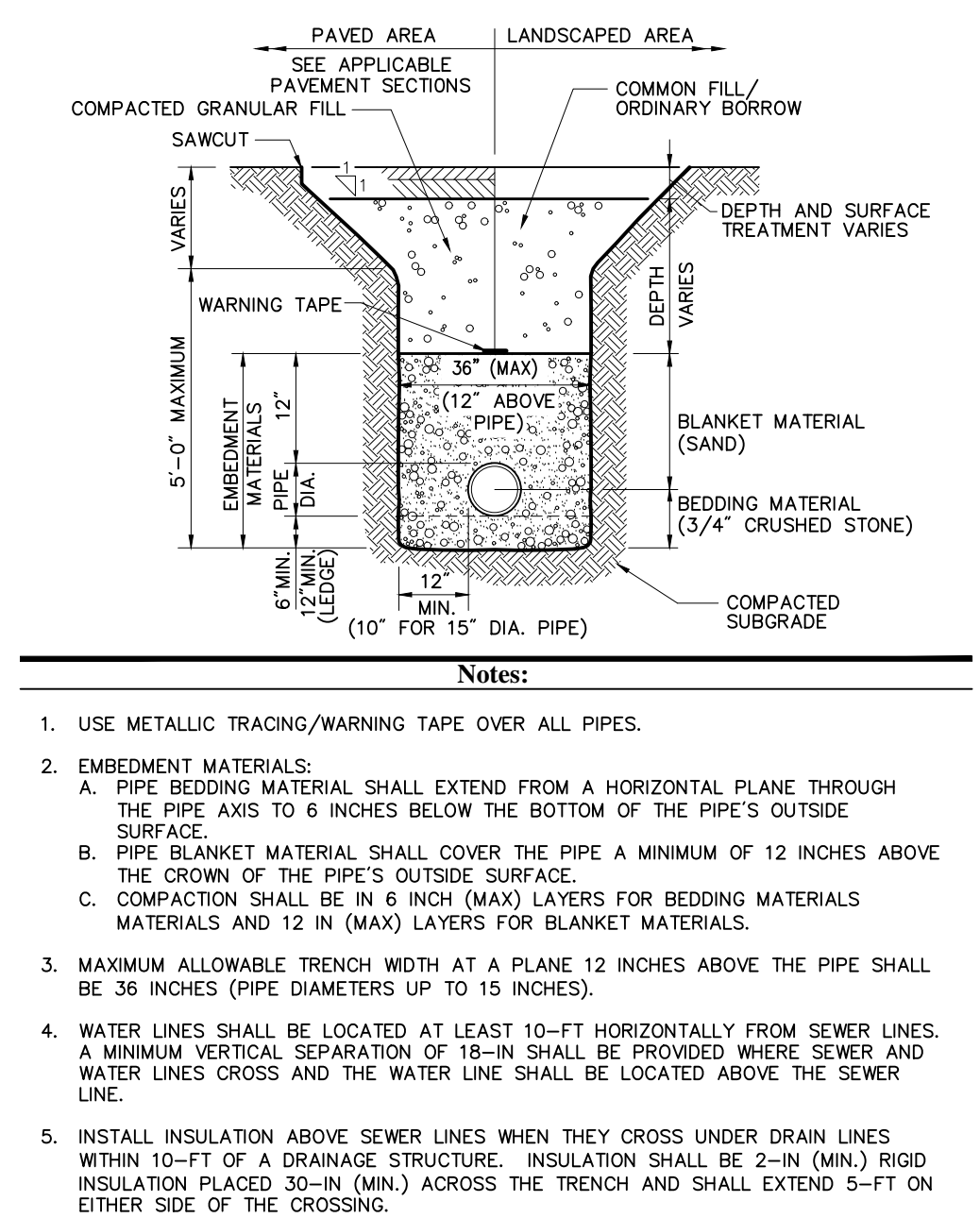
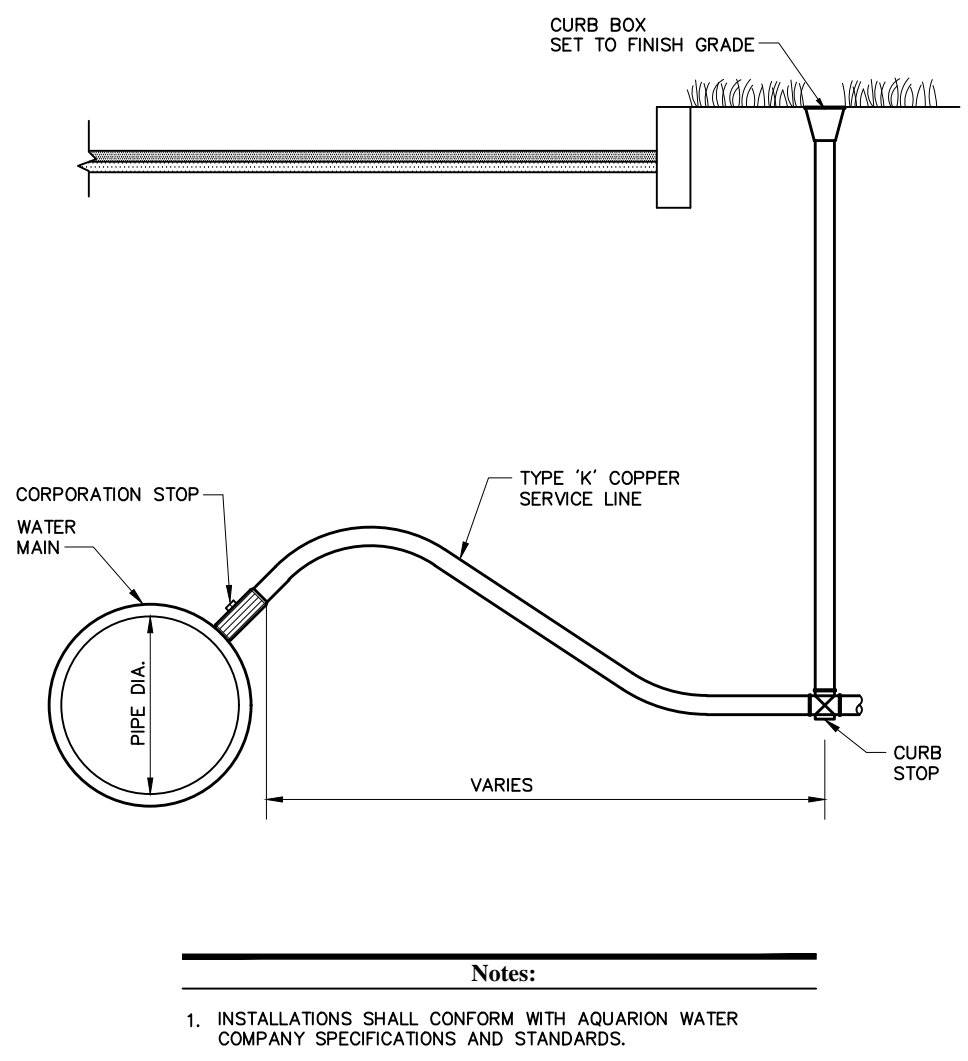
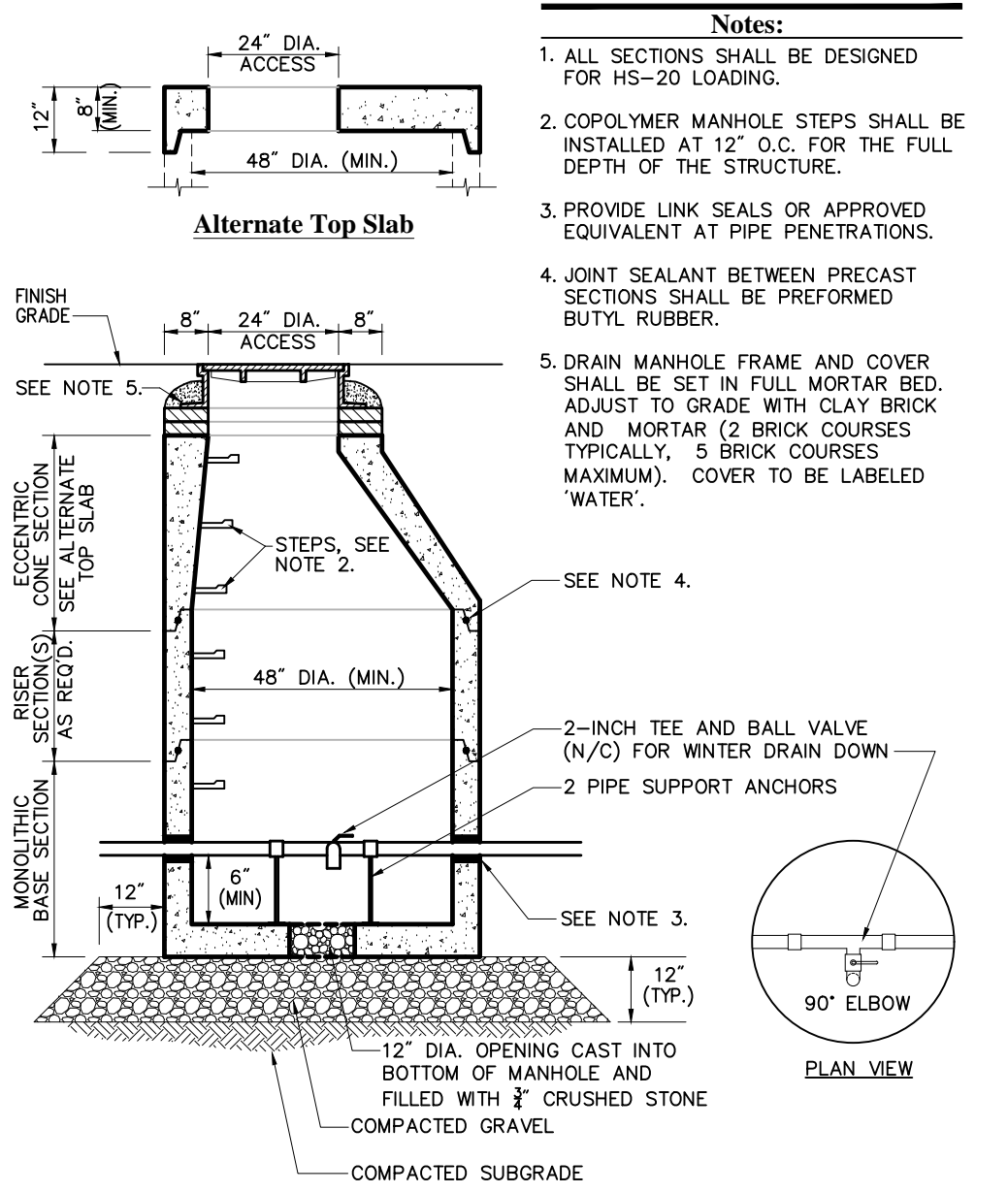
Scale None
Project Title and Location
Jenness Bathhouse Replacement and Parking Lot Improvements
2280 Ocean Boulevard
Rye, New Hampshire 03870

Issued for
Construction Documents
ISSUED: June 30, 2016

Project Number NHPBW - 80877B
VHB - 52348.05
Stamp: STATE OF NEW HAMPSHIRE
MARK J. VEROSTICK
No. 12266
LICENSED PROFESSIONAL ENGINEER

Drawing Title
Site Details 1

Drawing Number
C - 4



Owner

Division of Parks and Recreation
New Hampshire
Department of Resources and Economic Development

Administrator

Division of Public Works, Design and Construction
New Hampshire
Department of Administrative Services

Civil Engineer / Landscape Architect / Surveyor

2 Bedford Farms Drive
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Architect

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Mechanical, Electrical & Plumbing Engineer

CPB
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500 Depot St. Conway, NH
T 603-766-9622 F 603-766-2101

Drawing Set Log

No.	Revision	Date	Appvd.
1	Revised Building Location and Parking Layout	9/14/2016	MJV

Designed by MJV Drawn by MJV Checked by MJV
CAD checked by MJV Approved by MJV

Scale None

Project Title and Location

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2280 Ocean Boulevard
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Issued for

Construction Documents
ISSUED: June 30, 2016

Project Number
NHBPW - 80877B
VHB - 52348.05

Drawing Title

Site Details 2

Drawing Number

C - 5