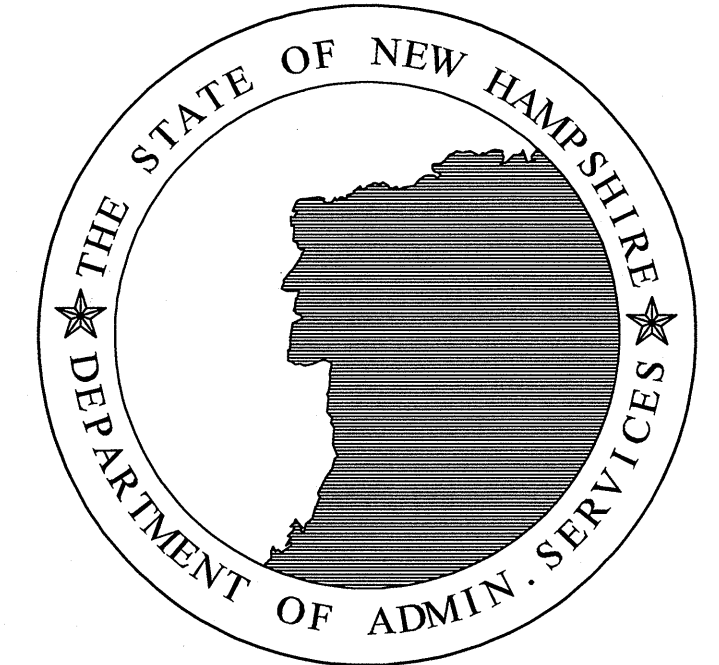


STATE OF NEW HAMPSHIRE DEPARTMENT OF ADMINISTRATIVE SERVICES DIVISION OF PUBLIC WORKS



JENNESS BATHHOUSE REPLACEMENT AND PARKING LOT IMPROVEMENTS

PROJECT NUMBER 80877 CONTRACT B

2280 OCEAN BOULEVARD

RYE, NEW HAMPSHIRE 03870

DEPT. OF RESOURCES AND ECONOMIC DEVELOPMENT

DIVISION OF PARKS AND RECREATION

| LOCUS MAP | DRAWING LIST | | |
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| <p>ARCHITECT: Samyn-D'Elia Architects, P.A. P.O. Box 1259 Ashland, N.H. 03217 (603) 968-7133</p> | <p>CIVIL ENGINEER: Vanasse, Hangen, Brustlin, Inc. 6 Bedford Farms Drive, Suite 607 Bedford, NH 03110 (603) 644-0888</p> | <p>STRUCTURAL ENGINEER: Foley Buhl Roberts & Associates, Inc. 500 Commercial Street Manchester, NH 03101 (603) 622-4578</p> | <p>MECHANICAL, ELECTRICAL & PLUMBING ENGINEER: Charles P. Buckley, P.E. 500 Depot Road Rumney, NH 03266 (603) 786-9992</p> |

| APPROVED: DATE: 6/23/16 COMMISSIONER - DEPARTMENT OF RESOURCES AND ECONOMIC DEVELOPMENT | APPROVED: DATE: 6/22/16 ADMINISTRATOR - DIVISION OF PUBLIC WORKS | STATE OF NEW HAMPSHIRE DEPARTMENT OF ADMINISTRATIVE SERVICES DIVISION OF PUBLIC WORKS DESIGN & CONSTRUCTION <small>JOHN O. MORTON BUILDING 7 HAZEN DRIVE BOX 483 ROOM 250 CONCORD, NEW HAMPSHIRE 03302-0483 (603) 271-3516 FAX(603) 271-3515</small> | <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th colspan="3">REVISIONS</th> </tr> <tr> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table> | REVISIONS | | | DATE | DESCRIPTION | BY | | | | | | | | | |
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| REVISIONS | | | | | | | | | | | | | | | | | | |
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| JENNESS BATHHOUSE REPLACEMENT AND PARKING LOT IMPROVEMENTS 2280 OCEAN BOULEVARD RYE, NEW HAMPSHIRE DEPT. OF RESOURCES AND ECONOMIC DEVELOPMENT | | | Title Sheet <small>PROJECT NO. 80877B CONTRACT:</small> | | | | | | | | | | | | | | | |
| NH STATE FIRE MARSHAL | | | DRAWN BY: SCALE: DATE: 6/30/2016 SHEET: T-1 | | | | | | | | | | | | | | | |

| Legend | | Exist. | Prop. | Exist. | Prop. |
|--------|------------------------------|--------|-------|--------------------------------|-------|
| | PROPERTY LINE | | | CONCRETE | |
| | PROJECT LIMIT LINE | | | HEAVY DUTY PAVEMENT | |
| | RIGHT-OF-WAY/PROPERTY LINE | | | RIPRAP | |
| | EASEMENT | | | CONSTRUCTION ENTRANCE | |
| | BUILDING SETBACK | | | TOP OF CURB ELEVATION | |
| | PARKING SETBACK | | | BOTTOM OF CURB ELEVATION | |
| | BASELINE | | | SPOT ELEVATION | |
| | CONSTRUCTION LAYOUT | | | TOP & BOTTOM OF WALL ELEVATION | |
| | ZONING LINE | | | BORING LOCATION | |
| | TOWN LINE | | | TEST PIT LOCATION | |
| | LIMIT OF DISTURBANCE | | | MONITORING WELL | |
| | HIGHEST OBSERVABLE TIDE LINE | | | UNDERDRAIN | |
| | FLOODPLAIN | | | DRAIN | |
| | T B Z | | | ROOF DRAIN | |
| | WB50 | | | SEWER | |
| | NWB150 | | | FORCE MAIN | |
| | PS250 | | | OVERHEAD WIRE | |
| | GRAVEL ROAD | | | WATER | |
| | EDGE OF PAVEMENT | | | FIRE PROTECTION | |
| | BITUMINOUS BERM | | | DOMESTIC WATER | |
| | BITUMINOUS CURB | | | GAS | |
| | CONCRETE CURB | | | ELECTRIC | |
| | CURB AND GUTTER | | | STEAM | |
| | EXTRUDED CONCRETE CURB | | | TELEPHONE | |
| | MONOLITHIC CONCRETE CURB | | | FIRE ALARM | |
| | PRECAST CONC. CURB | | | CABLE TV | |
| | SLOPED GRAN. EDGING | | | CATCH BASIN | |
| | VERT. GRAN. CURB | | | DOUBLE CATCH BASIN | |
| | LIMIT OF CURB TYPE | | | GUTTER INLET | |
| | SAWCUT | | | DRAIN MANHOLE | |
| | BUILDING | | | TRENCH DRAIN | |
| | BUILDING ENTRANCE | | | PLUG OR CAP | |
| | LOADING DOCK | | | CLEANOUT | |
| | BOLLARD | | | FLARED END SECTION | |
| | DUMPSTER PAD | | | HEADWALL | |
| | SIGN | | | SEWER MANHOLE | |
| | DOUBLE SIGN | | | CURB STOP & BOX | |
| | STEEL GUARDRAIL | | | WATER VALVE & BOX | |
| | WOOD GUARDRAIL | | | TAPPING SLEEVE, VALVE & BOX | |
| | PATH | | | SIAMESE CONNECTION | |
| | TREE LINE | | | FIRE HYDRANT | |
| | WIRE FENCE | | | WATER METER | |
| | FENCE | | | POST INDICATOR VALVE | |
| | STOCKADE FENCE | | | WATER WELL | |
| | STONE WALL | | | GAS GATE | |
| | RETAINING WALL | | | GAS METER | |
| | STREAM / POND / WATER COURSE | | | ELECTRIC MANHOLE | |
| | DETENTION BASIN | | | ELECTRIC METER | |
| | HAY BALES | | | LIGHT POLE | |
| | SILT FENCE | | | TELEPHONE MANHOLE | |
| | SILT SOCK / STRAW WATTLE | | | TRANSFORMER PAD | |
| | MINOR CONTOUR | | | UTILITY POLE | |
| | MAJOR CONTOUR | | | GUY POLE | |
| | PARKING COUNT | | | GUY WIRE & ANCHOR | |
| | COMPACT PARKING STALLS | | | HAND HOLE | |
| | DOUBLE YELLOW LINE | | | PULL BOX | |
| | STOP LINE | | | | |
| | CROSSWALK | | | | |
| | ACCESSIBLE CURB RAMP | | | | |
| | ACCESSIBLE PARKING | | | | |
| | VAN-ACCESSIBLE PARKING | | | | |

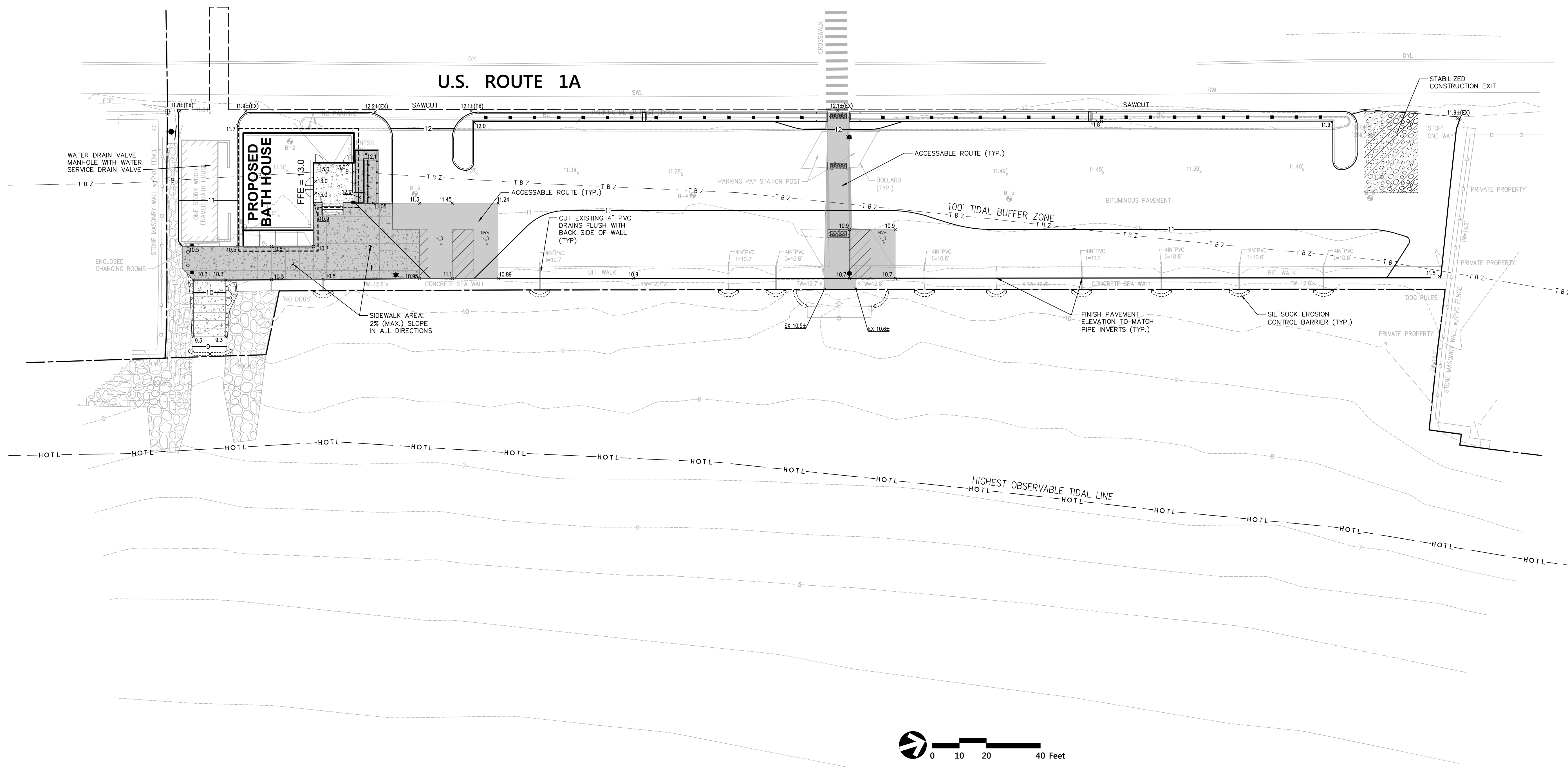
| Abbreviations | |
|----------------|--------------------------------|
| General | |
| ABAN | ABANDON |
| ACR | ACCESSIBLE CURB RAMP |
| ADJ | ADJUST |
| APPROX | APPROXIMATE |
| BIT | BITUMINOUS |
| BS | BOTTOM OF SLOPE |
| BWLL | BROKEN WHITE LANE LINE |
| CONC | CONCRETE |
| DYCL | DOUBLE YELLOW CENTER LINE |
| EL | ELEVATION |
| ELEV | ELEVATION |
| EXIST | EXISTING |
| FDN | FOUNDATION |
| FFE | FIRST FLOOR ELEVATION |
| GRAN | GRANITE |
| GTD | GRADE TO DRAIN |
| LA | LANDSCAPE AREA |
| LOD | LIMIT OF DISTURBANCE |
| MAX | MAXIMUM |
| MIN | MINIMUM |
| NIC | NOT IN CONTRACT |
| NTS | NOT TO SCALE |
| PERF | PERFORATED |
| PROP | PROPOSED |
| REM | REMOVE |
| RET | RETAIN |
| R&D | REMOVE AND DISPOSE |
| R&R | REMOVE AND RESET |
| SWEL | SOLID WHITE EDGE LINE |
| SWLL | SOLID WHITE LANE LINE |
| TS | TOP OF SLOPE |
| TYP | TYPICAL |
| VIF | VERIFY IN FIELD |
| Utility | |
| CB | CATCH BASIN |
| CMP | CORRUGATED METAL PIPE |
| CO | CLEANOUT |
| DCB | DOUBLE CATCH BASIN |
| DMH | DRAIN MANHOLE |
| CIP | CAST IRON PIPE |
| COND | CONDUIT |
| DIP | DUCTILE IRON PIPE |
| FES | FLARED END SECTION |
| FM | FORCE MAIN |
| F&G | FRAME AND GRATE |
| F&C | FRAME AND COVER |
| GI | GUTTER INLET |
| GT | GREASE TRAP |
| HDPE | HIGH DENSITY POLYETHYLENE PIPE |
| HH | HANDHOLE |
| HW | HEADWALL |
| HYD | HYDRANT |
| INV | INVERT ELEVATION |
| I= | INVERT ELEVATION |
| LP | LIGHT POLE |
| MES | METAL END SECTION |
| PWW | PAVED WATER WAY |
| PVC | POLYVINYLCHLORIDE PIPE |
| PIV | POST INDICATOR VALVE |
| RCP | REINFORCED CONCRETE PIPE |
| R= | RIM ELEVATION |
| SMH | SEWER MANHOLE |
| TSV | TAPPING SLEEVE, VALVE AND BOX |
| UG | UNDERGROUND |
| UP | UTILITY POLE |

| Notes: | |
|--|--|
| General | |
| 1. | THIS SITE PLAN SET IS INTENDED TO SHOW PROPOSED SITE IMPROVEMENTS ASSOCIATED WITH THE REDEVELOPMENT OF JENNESS STATE BEACH IN RYE, NEW HAMPSHIRE. |
| 2. | THE CONTRACTOR SHALL NOT CONSIDER THESE PLANS COMPLETE UNLESS ACCOMPANIED BY THE SPECIFICATIONS DOCUMENT FOR THE JENNESS BATHHOUSE REPLACEMENT AND PARKING LOT IMPROVEMENTS. |
| 3. | CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING. |
| 4. | CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS. |
| 5. | ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT). |
| 6. | AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL BE STABILIZED WITH PLANTINGS OR OTHERWISE RECEIVE 6 INCHES OF MULCH OR LOAM AND SEED AS DIRECTED BY THE ENGINEER. |
| 7. | WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS. |
| 8. | WORK WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. |
| 9. | UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS. |
| 10. | TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. |
| 11. | AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. |
| 12. | IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN. |
| 13. | CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS. |
| 14. | DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER. |
| 15. | CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER. |
| 16. | THE CONTRACTOR SHALL EVALUATE ANY DEWATERING REQUIRED BY THE WORK TO DETERMINE IF COVERAGE UNDER THE EPA DEWATERING GENERAL PERMIT (DGP) IS REQUIRED FOR DEWATERING DISCHARGES. IF COVERAGE IS REQUIRED UNDER THE DGP, PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL FILE A DGP NOTICE OF INTENT WITH THE EPA AND NHDES FOR CONSTRUCTION DEWATERING ACTIVITIES AND COMPLY WITH ALL PERMIT REQUIREMENTS THEREIN. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT. |
| Layout and Materials | |
| 1. | DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED. |
| 2. | CURB RADI ARE 3 FEET UNLESS OTHERWISE NOTED. |
| 3. | CURBING SHALL BE VERTICAL GRANITE CURB (VGC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS. |
| 4. | SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC. |
| 5. | PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A LICENSED LAND SURVEYOR (LLS). |
| 6. | PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. |
| 7. | SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES. |
| 8. | CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS. |
| Demolition | |
| 1. | CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS. |
| 2. | EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES. |
| 3. | CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES. |
| 4. | UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS. |
| Construction Sequence | |
| 1. | SURVEY AND STAKE LIMITS OF DISTURBANCE. |
| 2. | INSTALL EROSION CONTROL BARRIERS, CONSTRUCTION EXITS, ETC. PRIOR TO START OF CONSTRUCTION, TO BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER. |
| 3. | CLEAR ALL AREAS TO BE DISTURBED BY CONSTRUCTION AND PERFORM DEMOLITION OPERATIONS. |
| 4. | REPAIR, CLEAN, AND REPLACE ANY SEDIMENT CONTROLS DAMAGED DURING AND/OR AFTER RAINFALL EVENTS. |
| 5. | STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK AND STOCKPILE EXCESS MATERIAL. |
| 6. | CONSTRUCT TEMPORARY SEDIMENTATION BASINS AS REQUIRED. |
| 7. | PERFORM PRELIMINARY SITE GRADING AND CONSTRUCT TEMPORARY DIVERSION SWALES AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT THE PRELIMINARY GRADING ALLOWS SURFACE WATER RUN-OFF FROM UNSTABILIZED AREAS TO FLOW TOWARDS THE TEMPORARY SEDIMENTATION BASINS. |
| 8. | PREPARE BUILDING PAD TO ENABLE BUILDING CONSTRUCTION TO BEGIN. |
| 9. | INSTALL SEWER SERVICE, WATER SERVICE, AND OTHER UTILITIES IN ACCORDANCE WITH THE PLANS AND DETAILS. |
| 10. | PERFORM FINAL/FINE GRADING INCLUDING SLOPE STABILIZATION BLANKETS WHERE REQUIRED. |
| 11. | PERFORM ALL REMAINING SITE CONSTRUCTION. (I.E. BUILDING AND PAVEMENT AREAS). |
| 12. | LOAM AND SEED OR PLANT ALL REMAINING DISTURBED AREAS. |
| 13. | REMOVE TEMPORARY EROSION CONTROL MEASURES, SILT FENCE, ETC. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF STABILIZED PERMANENT GROUND COVER. |
| 14. | CLEAN ALL DRAINAGE WAYS AND PIPES WITHIN THE PROJECT LIMITS OF ALL SILT AND DEBRIS. |
| Existing Conditions Information | |
| 1. | BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED FROM PLANS OF RECORD PROVIDED BY NHRED. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VANASSE HANGEN BRUSTLIN DURING DECEMBER, 2015. |
| 2. | DELINEATION OF THE HIGHEST OBSERVABLE TIDE LINE WAS PERFORMED BY VANASSE HANGEN BRUSTLIN ON DECEMBER 29, 2015 AND WAS FIELD LOCATED BY GPS. |
| 3. | TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 1988. |
| 4. | GEO TECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM TERRACON CONSULTANTS, INC. |
| State Permits | |
| 1. | NHDES WETLAND PERMIT - PENDING |
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| 1. | THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB. |

| Notes: | |
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| Layout and Materials | |
| 1. | DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED. |
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| 3. | CURBING SHALL BE VERTICAL GRANITE CURB (VGC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS. |
| 4. | SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC. |
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| Demolition | |
| 1. | CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS. |
| 2. | EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES. |
| 3. | CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES. |
| 4. | UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS. |
| Construction Sequence | |
| 1. | SURVEY AND STAKE LIMITS OF DISTURBANCE. |
| 2. | INSTALL EROSION CONTROL BARRIERS, CONSTRUCTION EXITS, ETC. PRIOR TO START OF CONSTRUCTION, TO BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER. |
| 3. | CLEAR ALL AREAS TO BE DISTURBED BY CONSTRUCTION AND PERFORM DEMOLITION OPERATIONS. |
| 4. | REPAIR, CLEAN, AND REPLACE ANY SEDIMENT CONTROLS DAMAGED DURING AND/OR AFTER RAINFALL EVENTS. |
| 5. | STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK AND STOCKPILE EXCESS MATERIAL. |
| 6. | CONSTRUCT TEMPORARY SEDIMENTATION BASINS AS REQUIRED. |
| 7. | PERFORM PRELIMINARY SITE GRADING AND CONSTRUCT TEMPORARY DIVERSION SWALES AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT THE PRELIMINARY GRADING ALLOWS SURFACE WATER RUN-OFF FROM UNSTABILIZED AREAS TO FLOW TOWARDS THE TEMPORARY SEDIMENTATION BASINS. |
| 8. | PREPARE BUILDING PAD TO ENABLE BUILDING CONSTRUCTION TO BEGIN. |
| 9. | INSTALL SEWER SERVICE, WATER SERVICE, AND OTHER UTILITIES IN ACCORDANCE WITH THE PLANS AND DETAILS. |
| 10. | PERFORM FINAL/FINE GRADING INCLUDING SLOPE STABILIZATION BLANKETS WHERE REQUIRED. |
| 11. | PERFORM ALL REMAINING SITE CONSTRUCTION. (I.E. BUILDING AND PAVEMENT AREAS). |
| 12. | LOAM AND SEED OR PLANT ALL REMAINING DISTURBED AREAS. |
| 13. | REMOVE TEMPORARY EROSION CONTROL MEASURES, SILT FENCE, ETC. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF STABILIZED PERMANENT GROUND COVER. |
| 14. | CLEAN ALL DRAINAGE WAYS AND PIPES WITHIN THE PROJECT LIMITS OF ALL SILT AND DEBRIS. |
| Existing Conditions Information | |
| 1. | BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED FROM PLANS OF RECORD PROVIDED BY NHRED. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VANASSE HANGEN BRUSTLIN DURING DECEMBER, 2015. |
| 2. | DELINEATION OF THE HIGHEST OBSERVABLE TIDE LINE WAS PERFORMED BY VANASSE HANGEN BRUSTLIN ON DECEMBER 29, 2015 AND WAS FIELD LOCATED BY GPS. |
| 3. | TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 1988. |
| 4. | GEO TECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM TERRACON CONSULTANTS, INC. |
| State Permits | |
| 1. | NHDES WETLAND PERMIT - PENDING |
| Document Use | |

Notes:

1. GRADING WITHIN THE ACCESSIBLE ROUTES SHALL MEET THE FOLLOWING CRITERIA IN ACCORDANCE WITH ADA REQUIREMENTS:
 - A) LONGITUDINAL SLOPE: 5% (MAX)
 - B) CROSS SLOPE: 2% (MAX)
 - C) PARKING SPACES / ACCESS AISLES: 2% (MAX) - ALL DIRECTIONS
 - D) RAMPS AND CURB RAMPS: REFER TO APPLICABLE DETAILS.



Division of Parks and Recreation
 New Hampshire
 Department of Resources and Economic Development

Administrator
Division of Public Works, Design and Construction
 New Hampshire
 Department of Administrative Services

Civil Engineer / Landscape Architect / Surveyor



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Drawing Set Log

| No. | Revision | Date | Appvd. |
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Designed by: MJV Drawn by: MJV Checked by: MJV
 CAD checked by: Approved by:
 Scale: 1" = 20'

Project Title and Location
Jenness Bathhouse Replacement and Parking Lot Improvements
 2280 Ocean Boulevard
 Rye, New Hampshire 03870

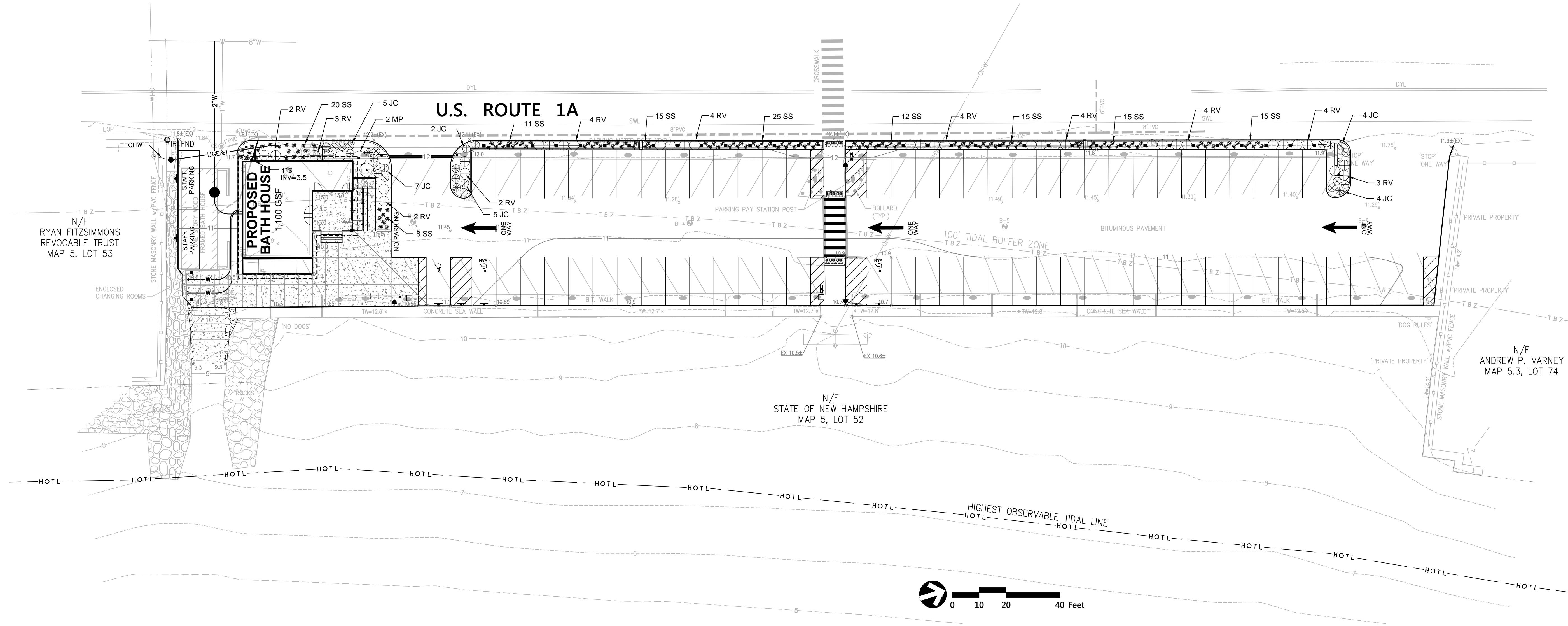
Issued for
Construction Documents
 ISSUED: June 30, 2016

Project Number
 NHBPW - 80877B
 VHB - 52348.05

Stamp: STATE OF NEW HAMPSHIRE
 MARK J. VEROSTICK
 No. 12286
 LICENSED PROFESSIONAL ENGINEER

Drawing Title
Grading, Drainage and Erosion Control Plan

Drawing Number
C - 3



Landscape Notes

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNER'S REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE 'AMERICAN STANDARDS FOR NURSERY STOCK' BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- VEGETATED AREAS STEEPER THAN A 3:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC UNTIL FULLY STABILIZED WITH VEGETATION.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Plant Maintenance Notes

- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

| Plant List | | | | | |
|------------|------|------------------------------------|----------------------------------|----------------|--|
| Key | Qty. | Botanical Name | Common Name | Size | |
| MP | 2 | MYRICA PENNSYLVANICA | BAYBERRY | 2' - 2-1/2' BB | |
| RV | 36 | ROSA VIRGINIANA | VIRGINIA ROSE | 3 GAL. | |
| JC | 21 | JUNIFERUS CONFERTA 'BLUE PACIFIC' | BLUE PACIFIC JUNIPER | 3 GAL. | |
| SS | 136 | SCHIZACHRIUM SCOPARIUM 'THE BLUES' | THE BLUES LITTLE BLUE STEM GRASS | 1 GAL. | |

Owner

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New Hampshire
Department of Resources and Economic Development

Administrator

Division of Public Works, Design and Construction
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Drawing Set Log

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Designed by RGL Drawn by MJV Checked by RGL
CAD checked by Approved by

Scale 1" = 20'

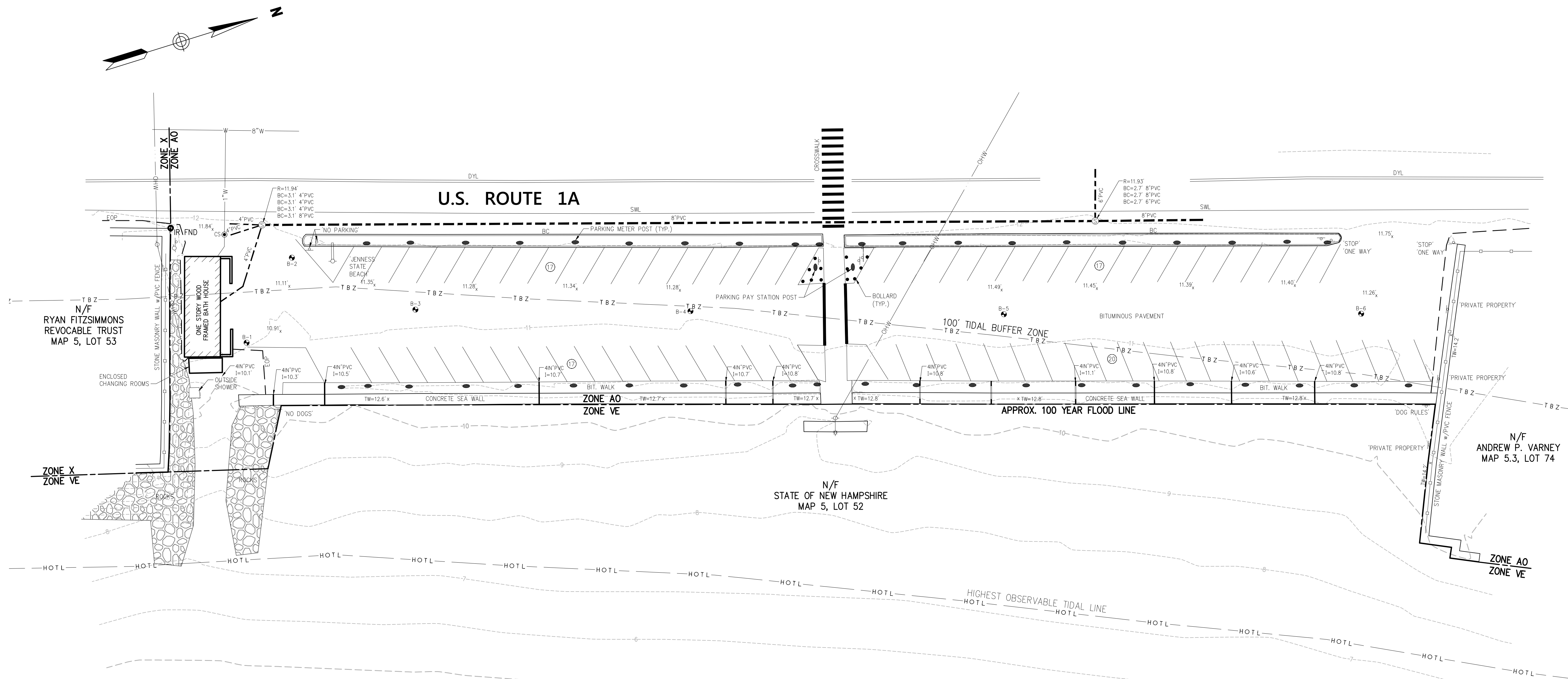
Project Title and Location
Jenness Bathhouse Replacement and Parking Lot Improvements
2280 Ocean Boulevard
Rye, New Hampshire 03870

Issued for
Construction Documents
ISSUED: June 30, 2016

Project Number
NHPBW - 80877B
VHB - 52348.05

Drawing Title
Landscape Plan

Drawing Number
L - 1



General Notes

1. THE OWNER OF RECORD AT THE TIME OF THE SURVEY IS: STATE OF NEW HAMPSHIRE
2. THE PROPERTY LINES SHOWN ARE BASED ON PLAN REFERENCE 1.
3. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC IN DECEMBER 2015.
4. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
5. HORIZONTAL DATUM IS N.A.D. 1983.
6. CONTOURS AND SPOT ELEVATIONS SHOWN ARE BASED UPON N.A.V.D. 1988.
7. MAP 5 LOT 52 LIES ENTIRELY WITHIN ZONE AO (AREA OF 100 YEAR SHALLOW FLOODING - 1 TO 3 FT DEPTH) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ROCKINGHAM COUNTY, NH COMMUNITY PANEL NUMBER 33015C 0432 E, EFFECTIVE DATE MAY 17, 2005.

Plan Reference

- 1) PLAN ENTITLED, "JENNESS STATE BEACH RYE, NEW HAMPSHIRE" DATED: DECEMBER 2006.



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Scale 1" = 20'

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| Project Number | Stamp |
| NHBPW - 80877B VHB - 52348.05 | |

Drawing Title

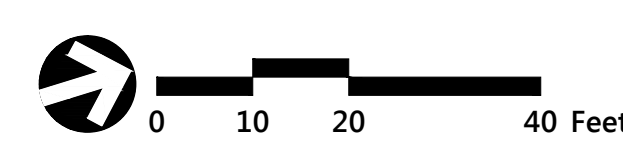
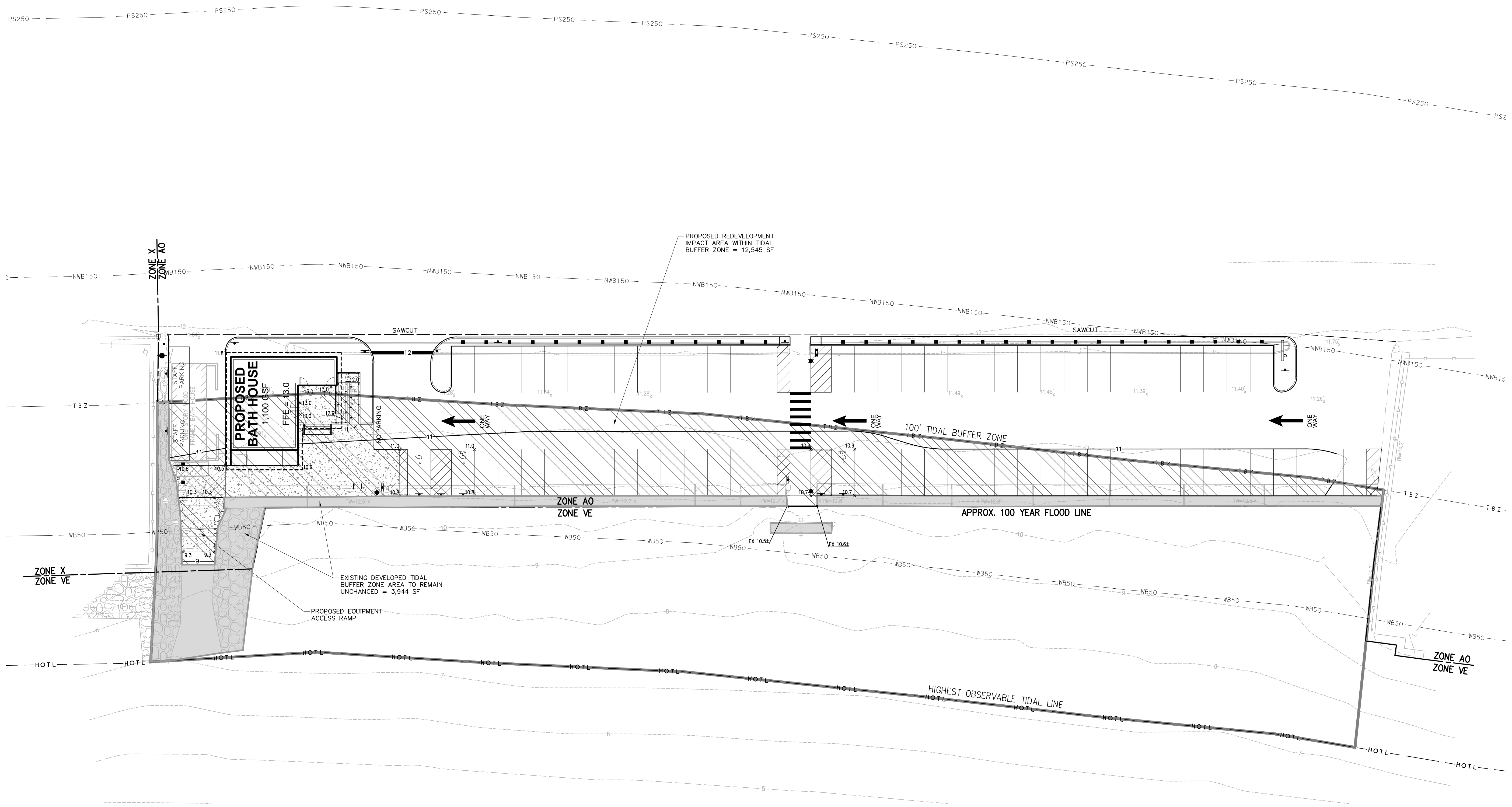
Existing Conditions Plan of Land


Drawing Number

Sv-1

Protected Shoreland Impact Summary

| Zone | Total Proposed Impact Area | Impervious Area | |
|------------------------------------|----------------------------|------------------|------------------|
| | | Existing | Proposed |
| 0' - 50' WATERFRONT BUFFER | 182 SF | 0 SF | 103 SF |
| 50' - 150' NATURAL WOODLAND BUFFER | 29,436 SF | 30,575 SF | 29,637 SF |
| 150' - 250' PROTECTED SHORELAND | 366 SF | 340 SF | 287 SF |
| TOTAL | 29,984 SF | 30,915 SF | 30,027 SF |




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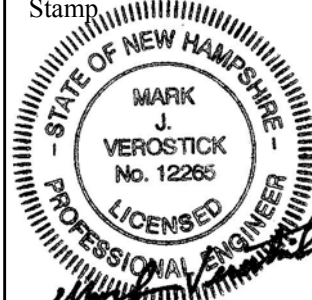
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Designed by: MJV Drawn by: MJV Checked by:
 CAD checked by: Approved by:

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Project Number
 NHPBW - 80877A
 VHB - 52348.05

Stamp:


Drawing Title
**Wetland Permitting Plan
 Proposed Conditions**

Drawing Number
Ev - 2

Jenness Bathhouse Replacement and Parking Lot Improvements

JENNESS BEACH STATE PARK
 RYE, NEW HAMPSHIRE
 NHBPW #808TTB

ABBREVIATIONS

| | | | |
|--------|------------------------------|--------|--------------------------------|
| A.C.T. | - ACOUSTICAL CEILING TILE | MACH. | - MACHINE |
| A.F.F. | - ABOVE FINISH FLOOR | MFR. | - MANUFACTURER |
| BITUM. | - BITUMINOUS | M.O. | - MASONRY OPENING |
| BLDG. | - BUILDING | MAX. | - MAXIMUM |
| BD. | - BOARD | MTL. | - METAL |
| C.J. | - CONTROL JOINT | MIN. | - MINIMUM |
| C.L. | - CENTER LINE | MT.(D) | - MOUNT(ED) |
| CLO. | - CLOSET | N.I.C. | - NOT IN CONTRACT |
| CLR. | - CLEAR | N.T.S. | - NOT TO SCALE |
| CMU. | - CONCRETE MASONRY UNIT | O.C. | - ON CENTER (CENTER TO CENTER) |
| CONC. | - CONCRETE | OPP. | - OPPOSITE |
| CONT. | - CONTINUOUS | O.H.D. | - OVERHEAD DOOR |
| CPT. | - CARPET | P.C.S. | - PIECES |
| C.T. | - CERAMIC TILE | P. | - PLATE |
| DTL. | - DETAIL | PLYWD. | - PLYWOOD |
| DIA. | - DIAMETER | P.T. | - PRESSURE TREATED |
| DIM. | - DIMENSION | PTED. | - PAINTED |
| D.W. | - DISHWASHER | R. | - RISER |
| DISP. | - DISPOSAL | RAD. | - RADIUS |
| DN. | - DOWN | R.D. | - ROOF DRAIN |
| D.F. | - DRINKING FOUNTAIN | REINF. | - REINFORCED |
| DWS. | - DRAWING | REPL. | - REPLACE |
| EA. | - EACH | RM. | - ROOM |
| E.J. | - EXPANSION JOINT | R.O. | - ROUGH OPENING |
| E.W.C. | - ELECTRIC WATER COOLER | S.A.T. | - SUSPENDED ACOUSTICAL TILE |
| ELEV. | - ELEVATION | SCHED. | - SCHEDULE |
| EL. | - ELEVATOR | SHT. | - SHEET |
| EQ. | - EQUAL | SIM. | - SIMILAR |
| EQUIP. | - EQUIPMENT | SIP | - STRUCTURAL INSULATED PANEL |
| EX. | - EXISTING | S.O.D. | - SLAB ON (METAL) DECK |
| EXIST. | - EXISTING | S.O.G. | - SLAB ON GRADE |
| EXP. | - EXPANSION | SPEC. | - SPECIFICATION |
| EXT. | - EXTERIOR | SQ. | - SQUARE |
| F.E. | - FIRE EXTINGUISHER | S.STL. | - STAINLESS STEEL |
| FLR. | - FLOOR | STD. | - STANDARD |
| F.D. | - FLOOR DRAIN | STL. | - STEEL |
| F.O.C. | - FACE OF CONC. (FOUNDATION) | STOR. | - STORAGE (ROOM) |
| F.O.F. | - FACE OF (STUD) FRAMING | SUSP. | - SUSPENDED |
| F.R.P. | - FIBERGLASS REINF. PLASTIC | T. | - TREAD |
| GEN. | - GENERAL | T.B.D. | - TO BE DETERMINED |
| GL. | - GLASS | TYP. | - TYPICAL |
| GWB. | - GYPSUM WALLBOARD | V.B. | - VAPOR BARRIER |
| H. | - HIGH | V.I.F. | - VERIFY IN FIELD |
| H.C.P. | - HANDICAPPED | VERT. | - VERTICAL |
| HGT. | - HEIGHT | V.C.T. | - VINYL COMPOSITION TILE |
| H.M. | - HOLLOW METAL | W/ | - WITH |
| HORIZ. | - HORIZONTAL | WD. | - WOOD |
| HWH | - HOT WATER HEATER | WRB | - WEATHER RESISTANT BARRIER |
| ICF | - INSULATED CONCRETE FORM | | |

NOTATION SYMBOLS

| | | |
|-------------------------|--|-------------------|
| ROOM IDENTIFICATION | | ROOM NUMBER (101) |
| DOOR MARKS | | DOOR NUMBER (102) |
| WINDOW MARK | | WINDOW TYPE (A) |
| INTERIOR ELEVATION TAGS | | |
| WALL SECTION TAG | | |
| BUILDING SECTION TAG | | |
| SURFACE ELEVATION MARK | | |
| ENLARGED DETAIL TAG | | |

CODE INFORMATION

2009 INTERNATIONAL BUILDING CODE (IBC)

GENERAL BUILDING INFORMATION: (NUMBERS REFER TO CHAPTERS AND SECTIONS IN THE IBC)

502 USE GROUP CLASSIFICATIONS: B - BUSINESS

502.1 BUILDING AREAS, PROPOSED: SINGLE LEVEL 1,482 SQ. FT. GROSS

502.1 BUILDING HEIGHT, PROPOSED: 18' FROM GRADE TO TOP OF MAIN ROOF, 23' FROM GRADE TO TOP OF CUPOLA

503 AREA LIMIT: 1,200 SQ.FT. PER FLOOR

503 HEIGHT LIMIT: TWO (2) STORIES, 30' HIGH

CHAPTER 6 CONSTRUCTION CLASSIFICATION
 PROPOSED STRUCTURE: TYPE 5B

TABLE 601 REQUIRED FIRE RESISTIVE RATINGS OF STRUCTURAL ELEMENTS
 PROPOSED TYPE 5B STRUCTURAL FRAME (COLUMNS, GIRDERS, TRUSSES, WALLS, FLOORS & ROOFS): 0 HOUR

2009 NFPA 101 LIFE SAFETY CODE (LSC)

OCCUPANCIES: BUSINESS (CHAPTER 38)

REQUIRED FIRE SEPARATION: 1-HOUR WALL BETWEEN STORAGE SPACES & OTHER SPACES

ACCESSIBILITY CODE

THIS BUILDING SHALL COMPLY WITH THE PROVISIONS OF THE NH ACCESSIBILITY CODE WHICH REFERENCES 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN BY THE U.S. DEPT. OF JUSTICE.

DRAWING INDEX

ARCHITECTURAL DRAWINGS

- A1.1 Floor & Reflected Ceiling Plans
- A1.2 Roof Plan
- A2.1 Exterior Elevations
- A2.2 Exterior Elevations
- A3.1 Building Sections
- A4.1 Wall Sections
- A5.1 Interior Elevations
- A6.1 Details
- A7.1 Schedules

STRUCTURAL DRAWINGS

- S1.1 Foundation Plan
- S1.2 Foundation Details
- S2.1 Roof Framing Plan
- S2.2 Truss Diagrams and Framing Notes

ELECTRICAL DRAWINGS

- E-1 Electrical Schedules, Symbols & Details
- E-2 Electrical Plans
- E-3 Site Electrical Plan & Details

MECHANICAL DRAWINGS

- M-1 Mechanical Plan and Details

PLUMBING DRAWINGS

- P-1 Plumbing Symbols, Details and Schedules
- P-2 Plumbing Plan - Waste & Vent Piping and Details
- P-3 Plumbing Plan - Domestic Water Piping and Details

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Civil Engineer/Surveyor:

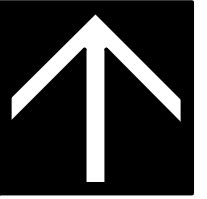
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Owner



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Administrator

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New Hampshire
Department of Administrative Services

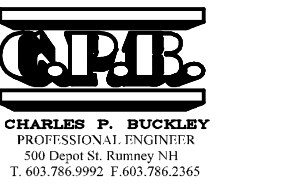
Civil Engineer / Landscape Architect / Surveyor



Structural Engineer



Mechanical, Electrical & Plumbing Engineer



Drawing Set Log

| No. | Revision | Date | Appvd. |
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Designed by _____ Drawn by MR Checked by WD
CAD checked by _____ Approved by WD

Scale AS NOTED

Project Title and Location

Jenness Bathhouse Replacement and Parking Lot Improvements
2280 Ocean Boulevard
Rye, New Hampshire 03870

Issued for

Construction Documents
Issued: June 30, 2016

Project Number

NHBPW - 80877B

VHB - 52348.05

SDA - 1535

Stamp



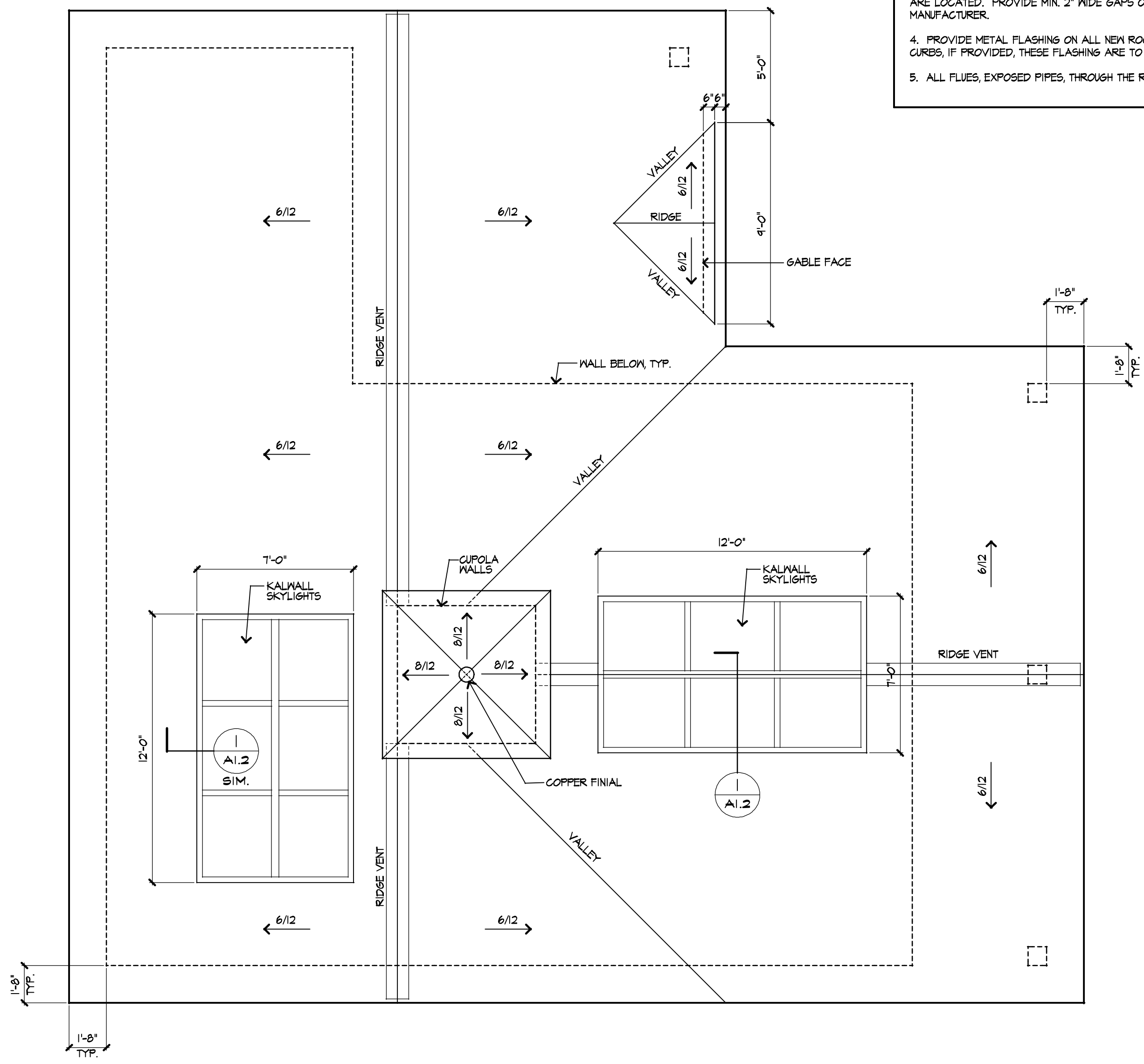
Drawing Title

Roof Plan

Drawing Number

A1.2

- ROOFING NOTES**
1. PROVIDE ICE & WATER MEMBRANE OVER ENTIRE ROOF AREAS.
 2. RUN MEMBRANE UP MIN. 18" WHERE POSSIBLE ON ALL VERTICAL WALLS WHERE NEW ROOF ABUTS THE WALLS.
 3. PROVIDE CONTINUOUS OPENINGS (SLITS) IN ROOF SHEATHING WHERE RIDGE VENTS ARE LOCATED. PROVIDE MIN. 2" WIDE GAPS OR AS REQUIRED BY THE VENT MANUFACTURER.
 4. PROVIDE METAL FLASHING ON ALL NEW ROOF-WALL INTERSECTIONS INCLUDING CURBS, IF PROVIDED, THESE FLASHING ARE TO BE LAPPED OVER NEW MEMBRANE.
 5. ALL FLUES, EXPOSED PIPES, THROUGH THE ROOF VENTS, ETC. TO BE PAINTED BLACK.



Roof Plan
SCALE: 1/4"=1'-0"

