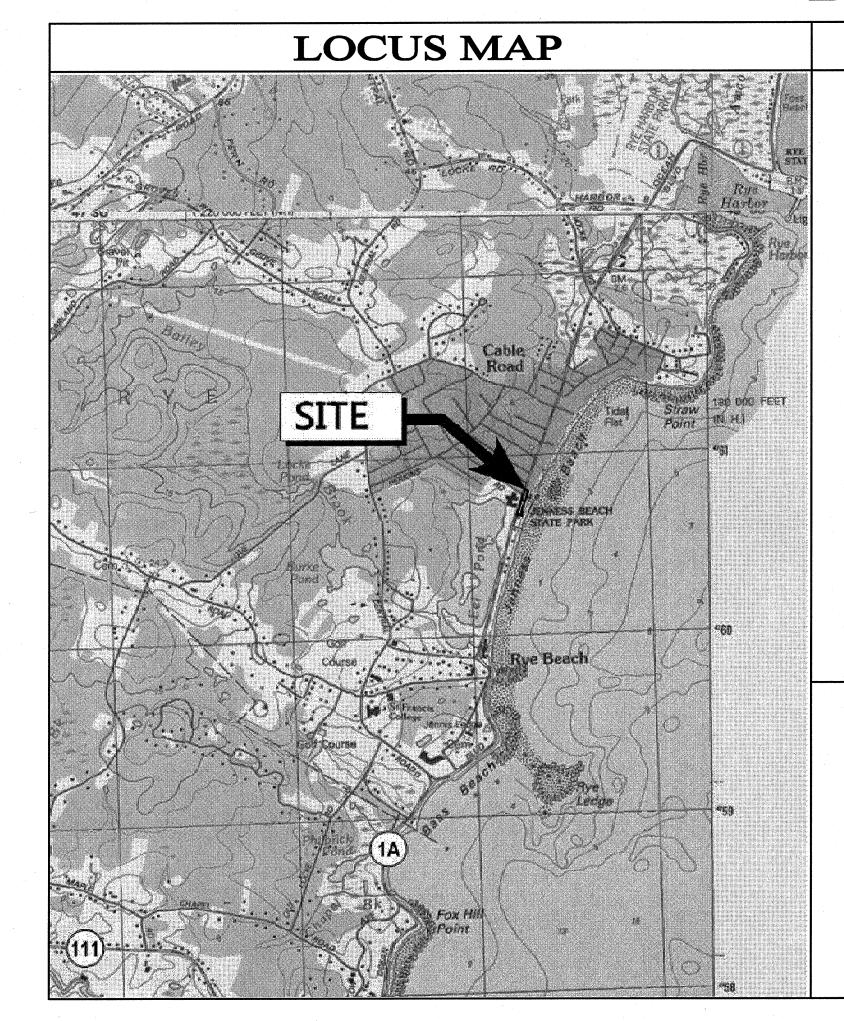


STATE OF NEW HAMPSHIRE DEPARTMENT OF ADMINISTRATIVE SERVICES DIVISION OF PUBLIC WORKS



JENNESS BATHHOUSE REPLACEMENT AND PARKING LOT IMPROVEMENTS

PROJECT NUMBER 80877 CONTRACT B 2280 OCEAN BOULEVARD RYE, NEW HAMPSHIRE 03870 DEPT. OF RESOURCES AND ECONOMIC DEVELOPMENT DIVISION OF PARKS AND RECREATION



DRAWING LIST Jenness State Beach Bath House Drawings

Civil Drawings

- Legend and General Notes
- Layout, Materials and Utility Plan Grading, Drainage and Erosion Control Plan
- Site Details 1 Site Details 2
- Landscape Plan

Existing Conditions Plan of Land Wetland Permitting Plan Existing Conditions Wetland Permitting Plan Proposed Conditions

- A0.0 Building Cover Sheet First Floor and Reflected Ceiling Plan
- Roof Plan
- **Exterior Elevations Exterior Elevations**
- **Building Sections**
- Wall Sections
- **Interior Elevations**
- **A6.1 Details** Schedules

Structural

- Foundation Plan
- Foundation Details
- **Roof Framing Plan**
- Truss Diagrams and Framing Notes

- Electrical Schedules, Symbols and Details
- **Electrical Plans**
- Site Electrical Plan & Details

Mechanical

Mechanical Plan and Details

Plumbing

- Plumbing Symbols, Notes and Schedules
- Plumbing Plan Waste & Vent Piping and Details
 Plumbing Plan Domestic Water Piping and Details

ARCHITECT:

Samyn-D'Elia Architects, P.A. P.O. Box 1259

Ashland, N.H. 03217 (603) 968-7133



CIVIL ENGINEER:

Bedford, NH 03110

(603) 644-0888

Vanasse, Hangen, Brustlin, Inc.

NH STATE FIRE MARSHAI

6 Bedform Farms Drive, Suite 607

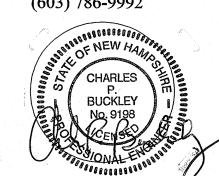
STRUCTURAL ENGINEER:

Foley Buhl Roberts & Associates, inc. 500 Commercial Street Manchester, NH 03101



MECHANICAL, ELECTRICAL & PLUMBING ENGINEER:

Charles P. Buckley, P.E. 500 Depot Road Rumney, NH 03266 (603) 786-9992



REVISIONS

DESCRIPTION

APPROVED DATE: 6/22/16	APPROVED SULVAN	62216
COMMISSIONER - DEPARTMENT OF RESOURCES AND ECONOMIC DEVELOPMENT	COMMISSIONER, DEPARTMENT OF ADMINIS	TRATIVE SERVICES
APPROVED DATE:	RECOMMENDED 0	DATE: 6222016
DIRECTOR — DIVISION OF PARKS AND RECREATION	ℓ ADMINISTRATOR — DIVISION OF PU	BLIC WORKS
	APPROVED	DATE:

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	STATE OF NEW HAIVINGSHIRE	DATE	
	DEPARTMENT OF ADMINISTRATIVE SERVICES		
\dashv	DIVISION OF PUBLIC WORKS DESIGN & CONSTRUCTION		
	JOHN O. MORTON BUILDING		
۱	7 HAZEN DRIVE BOX 483 ROOM 250		
╝	CONCORD, NEW HAMPSHIRE 03302-0483		
١	(603) 271–3516 FAX(603) 271–3515		

JENNESS BATHHOUSE REPLACEMENT AND PARKING LOT IMPROVEMENTS 2280 OCEAN BOULEVARD RYE, NEW HAMPSHIRE DEPT. OF RESOURCES AND ECONOMIC DEVELOPMENT

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Title	Sheet	

T-1 6/30/2016

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			egend		
Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			RIPRAP
		EASEMENT		/////// //////////////////////////////	CONSTRUCTION ENTRANCE
		BUILDING SETBACK			
-		PARKING SETBACK	27.35 TC×	27.35 TC×	TOP OF CURB ELEVATION
10+00	10+00	BASELINE	26.85 BC×	26.85 BC×	BOTTOM OF CURB ELEVATION
-		CONSTRUCTION LAYOUT	132.75 ×	132.75 ×	SPOT ELEVATION
		ZONING LINE	45.0 TW × 38.5 BW	45.0 TW 38.5 BW	TOP & BOTTOM OF WALL ELEVATION
		TOWN LINE	•	•	BORING LOCATION
			_	⊞ MW	TEST PIT LOCATION
-	·	LIMIT OF DISTURBANCE	○ MW	○ MW	MONITORING WELL
— HОТ L —		HIGHEST OBSERVABLE TIDE LINE	——UD-——-	——UD——	UNDERDRAIN
		FLOODPLAIN	12"D	12"D─►	DRAIN
— т в z—		100' TIDAL BUFFER ZONE	6"RD	<u>6</u> "RD─►	ROOF DRAIN
— WB50 —		50' WATERFRONT BUFFER	12"S	12 " S	SEWER
—NWB150—			FM	<u>FM</u>	FORCE MAIN
		150' NATURAL WOODLAND BUFFER	—— OHW ——	——— OHW ———	OVERHEAD WIRE
— PS250 —		250' PROTECTED SHORELAND	- 6"W	6"W	WATER
		GRAVEL ROAD	4"FP	4"FP	FIRE PROTECTION
EOP		EDGE OF PAVEMENT		2"DW	DOMESTIC WATER
BB	BB	BITUMINOUS BERM	3"G	——-G——	GAS
BC	BC	BITUMINOUS CURB	——F——	F	ELECTRIC
CC	CC	CONCRETE CURB	STM	STM	STEAM
	CG	CURB AND GUTTER	T	—T	TELEPHONE
CC	ECC	EXTRUDED CONCRETE CURB	FA	FA	FIRE ALARM
CC	MCC	MONOLITHIC CONCRETE CURB		—— CATV——	CABLE TV
CC	PCC	PRECAST CONC. CURB			CADLE IV
SGE	SGE	SLOPED GRAN. EDGING		III	CATCH BASIN
VGC	VGC	VERT. GRAN. CURB			DOUBLE CATCH BASIN
		LIMIT OF CURB TYPE	==	==	GUTTER INLET
-		SAWCUT	(1)	•	DRAIN MANHOLE
		SANOUT	=TD=		TRENCH DRAIN
(///////		BUILDING	Γ	ŗ	PLUG OR CAP
	T ⊲EN	BUILDING ENTRANCE	CO	€ ^{CO}	CLEANOUT
_\ _\		LOADING DOCK	>	>	FLARED END SECTION
		BOLLARD		\checkmark	HEADWALL
D	D	DUMPSTER PAD	<u> </u>	•	SEWER MANHOLE
÷	<u> </u>	SIGN			SEWEN WANTOLE
<u> </u>	<u>.</u>	DOUBLE SIGN	CS ● WV	CS ●	CURB STOP & BOX
		DOODLE GIGHT		₩V ●	WATER VALVE & BOX
<u> </u>		STEEL GUARDRAIL	TSV	TSV 	TAPPING SLEEVE, VALVE & BOX
		WOOD GUARDRAIL	**	★ HYD	SIAMESE CONNECTION
			_ HYD	©	FIRE HYDRANT
		PATH	WM •	WM •	WATER METER
	\sim	TREE LINE	PIV	PIV	POST INDICATOR VALVE
	× ×	WIRE FENCE	(()	(W)	WATER WELL
o	•	FENCE	GG	GG O	GAS GATE
		STOCKADE FENCE	GM	GM	GAS METER
00000		STONE WALL		EMH	
		RETAINING WALL	E) EM	● LMIII EM	ELECTRIC MANHOLE
- · · · ·		STREAM / POND / WATER COURSE	•		ELECTRIC METER
-··		DETENTION BASIN	\$	*	LIGHT POLE
• • • • • • • •		HAY BALES		● ^{TMH}	TELEPHONE MANHOLE
_×	×	SILT FENCE	T	T	TRANSFORMER PAD
· ·	C::::::> ·	SILT SOCK / STRAW WATTLE		•	
4			0-	→	UTILITY POLE
-4	4	MINOR CONTOUR	0-	•	GUY POLE
-20— —	20	MAJOR CONTOUR	– HH Т	HH T	GUY WIRE & ANCHOR
10	10	PARKING COUNT	— ⊓⊓ ⊡ PB	nn ⊡ PB	HAND HOLE
	C10	COMPACT PARKING STALLS			PULL BOX
DYL	DYL	DOUBLE YELLOW LINE	Mate	chline	MATCHLINE
SL	SL				MATOREINE
		STOP LINE			
		CROSSWALK			
		ACCESSIBLE CURB RAMP			
E	Ě.	ACCESSIBLE PARKING			
_					

VAN-ACCESSIBLE PARKING

Abbreviations General ABAN ABANDON ACCESSIBLE CURB RAMP ADJUST APPROX APPROXIMATE BITUMINOUS BOTTOM OF SLOPE BROKEN WHITE LANE LINE CONC CONCRETE DOUBLE YELLOW CENTER LINE ELEVATION ELEV ELEVATION EXIST EXISTING FDN FOUNDATION FIRST FLOOR ELEVATION GRANITE GRAN GTD GRADE TO DRAIN LANDSCAPE AREA LIMIT OF DISTURBANCE LOD MAXIMUM MINIMUM NOT IN CONTRACT NTS NOT TO SCALE PERFORATED PROPOSED REMOVE RETAIN REMOVE AND DISPOSE REMOVE AND RESET SOLID WHITE EDGE LINE SOLID WHITE LANE LINE TOP OF SLOPE **TYPICAL** VERIFY IN FIELD CATCH BASIN CORRUGATED METAL PIPE CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION INVERT ELEVATION LIGHT POLE METAL END SECTION PAVED WATER WAY POLYVINYLCHLORIDE PIPE POST INDICATOR VALVE REINFORCED CONCRETE PIPE

RIM ELEVATION

SEWER MANHOLE

UNDERGROUND

UTILITY POLE

TAPPING SLEEVE, VALVE AND BOX

Notes:

- 1. THIS SITE PLAN SET IS INTENDED TO SHOW PROPOSED SITE IMPROVEMENTS ASSOCIATED WITH THE REDEVELOPMENT OF JENNESS STATE BEACH IN RYE, NEW HAMPSHIRE.
- 2. THE CONTRACTOR SHALL NOT CONSIDER THESE PLANS COMPLETE UNLESS ACCOMPANIED BY THE SPECIFICATIONS DOCUMENT FOR THE JENNESS BATHHOUSE REPLACEMENT AND PARKING LOT
- 3. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.

STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

- 5. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH
- 6. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL BE STABILIZED WITH PLANTINGS OR OTHERWISE RECEIVE 6 INCHES OF MULCH OR LOAM AND SEED AS DIRECTED BY THE ENGINEER.
- 7. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
- 8. WORK WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- 9. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS. IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT
- 10. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 11. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S
- 12. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- 13. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- 14. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO
- ADDITIONAL COST TO OWNER. 15. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE

IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF

16. THE CONTRACTOR SHALL EVALUATE ANY DEWATERING REQUIRED BY THE WORK TO DETERMINE IF COVERAGE UNDER THE EPA DEWATERING GENERAL PERMIT (DGP) IS REQUIRED FOR DEWATERING DISCHARGES. IF COVERAGE IS REQUIRED UNDER THE DGP, PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL FILE A DGP NOTICE OF INTENT WITH THE EPA AND NHDES FOR CONSTRUCTION DEWATERING ACTIVITIES AND COMPLY WITH ALL PERMIT REQUIREMENTS THEREIN. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT.

Utilities

1. THE UTILITY COMPANIES SERVICING THE PROJECT AREA ARE:

AQUARION WATER COMPANY B. SEWER: RYE SEWER COMMISSION C. ELECTRIC: **EVERSOURCE**

D. TELEPHONE: FAIRPOINT E. CABLE TV: COMCAST & FAIRPOINT

ANY. AT NO COST TO OWNER.

- 2. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS. SIZES. AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- 3. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- 4. SET INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE
- GRADING AND UTILITY PLANS. 5. RIM ELEVATIONS FOR MANHOLES AND SEWER CLEANOUTS, WATER VALVE COVERS, ELECTRIC AND TELEPHONE PULL BOXES AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS
- A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
- B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
- C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
- 6. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- 7. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
- 8. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN: A. WATER PIPES SHALL BE TYPE 'K' COPPER
- B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE
- 9. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.

Layout and Materials

ON THE PLANS.

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- 2. CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- 3. CURBING SHALL BE VERTICAL GRANITE CURB (VGC) WITHIN THE SITE UNLESS OTHERWISE INDICATED
- 4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- 5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A LICENSED LAND SURVEYOR (LLS).
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- 4. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Construction Sequence

- 1. SURVEY AND STAKE LIMITS OF DISTURBANCE.
- 2. INSTALL EROSION CONTROL BARRIERS, CONSTRUCTION EXITS, ETC. PRIOR TO START OF CONSTRUCTION, TO BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER.
- 3. CLEAR ALL AREAS TO BE DISTURBED BY CONSTRUCTION AND PERFORM DEMOLITION OPERATIONS.
- 4. REPAIR, CLEAN, AND REPLACE ANY SEDIMENT CONTROLS DAMAGED DURING AND/OR AFTER
- 5. STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK AND STOCKPILE EXCESS MATERIAL.
- 6. CONSTRUCT TEMPORARY SEDIMENTATION BASINS AS REQUIRED.
- PERFORM PRELIMINARY SITE GRADING AND CONSTRUCT TEMPORARY DIVERSION SWALES AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT THE PRELIMINARY GRADING ALLOWS SURFACE WATER RUN-OFF FROM UNSTABILIZED AREAS TO FLOW TOWARDS THE TEMPORARY SEDIMENTATION BASINS.
- 8. PREPARE BUILDING PAD TO ENABLE BUILDING CONSTRUCTION TO BEGIN.
- INSTALL SEWER SERVICE, WATER SERVICE, AND OTHER UTILITIES IN ACCORDANCE WITH THE PLANS AND DETAILS.
- 10. PERFORM FINAL/FINE GRADING INCLUDING SLOPE STABILIZATION BLANKETS WHERE REQUIRED.
- 11. PERFORM ALL REMAINING SITE CONSTRUCTION. (I.E. BUILDING AND PAVEMENT AREAS).
- 12. LOAM AND SEED OR PLANT ALL REMAINING DISTURBED AREAS.
- 13. REMOVE TEMPORARY EROSION CONTROL MEASURES, SILT FENCE, ETC. UPON COMPLETION OF
- CONSTRUCTION AND ESTABLISHMENT OF STABILIZED PERMANENT GROUND COVER.
- 14. CLEAN ALL DRAINAGE WAYS AND PIPES WITHIN THE PROJECT LIMITS OF ALL SILT AND DEBRIS.

Existing Conditions Information

- 1. BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED FROM PLANS OF RECORD PROVIDED BY NHDRED. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VANASSE HANGEN BRUSTLIN DURING DECEMBER, 2015.
- 2. DELINEATION OF THE HIGHEST OBSERVABLE TIDE LINE WAS PERFORMED BY VANASSE HANGEN BRUSTLIN ON DECEMBER 29, 2015 AND WAS FIELD LOCATED BY GPS.
- 3. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 1988.
- GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM TERRACON CONSULTANTS, INC.

State Permits

1. NHDES WETLAND PERMIT - PENDING

Document Use

THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE. REUSE. MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.

Owner



Division of Parks and Recreation New Hampshire

Department of Resources and **Economic Development**

Administrator

Division of Public Works, **Design and Construction** New Hampshire

Department of

Administrative Services

Civil Engineer / Landscape Architect / Surveyor



ARCHITECTS, P.A

Architect SAMYN • D'ELIA

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Structural Engineer

Foley Buhl Roberts F 603-622-4593 www.fbra.com Manchester NH 03101

Mechanical, Electrical & Plumbing Engineer



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Project Title and Location Jenness Bathhouse Replacement

None

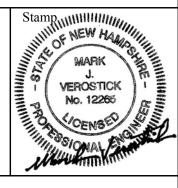
2280 Ocean Boulevard Rye, New Hampshire 03870

and Parking Lot Improvements

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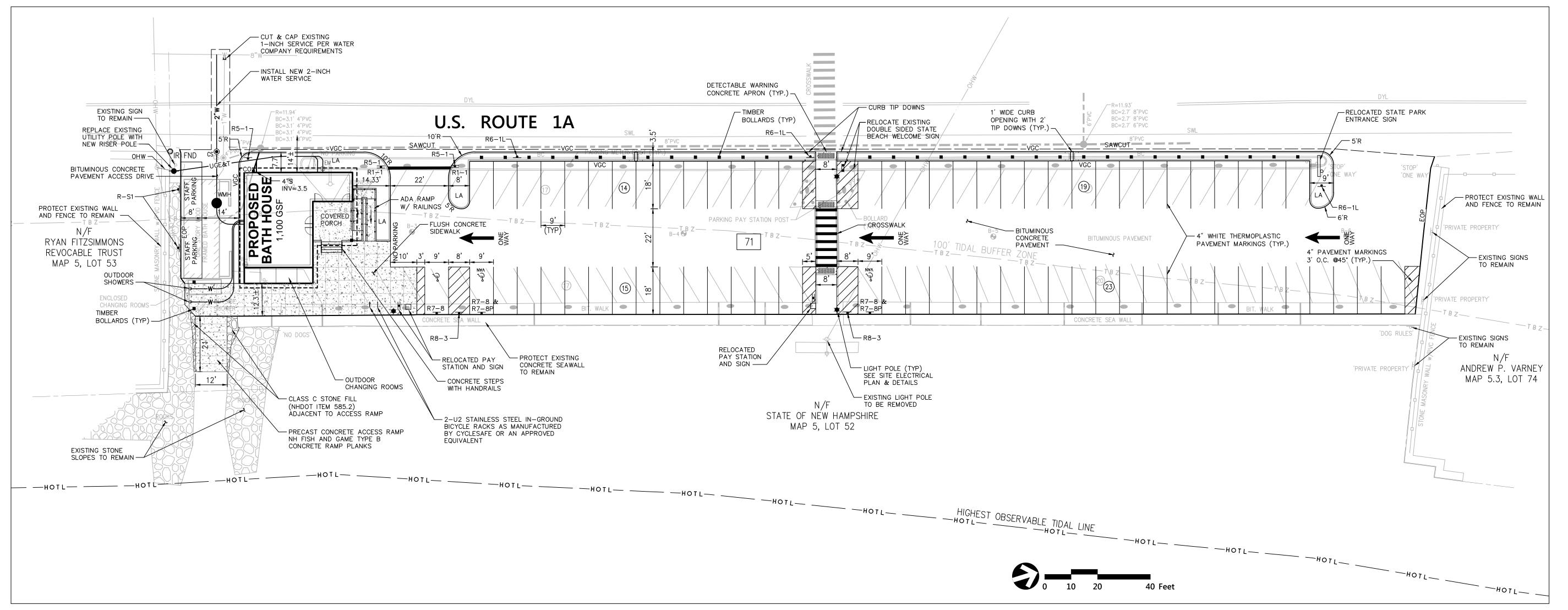
Construction Documents ISSUED: June 30, 2016

Project Number NHBPW - 80877B VHB - 52348.05

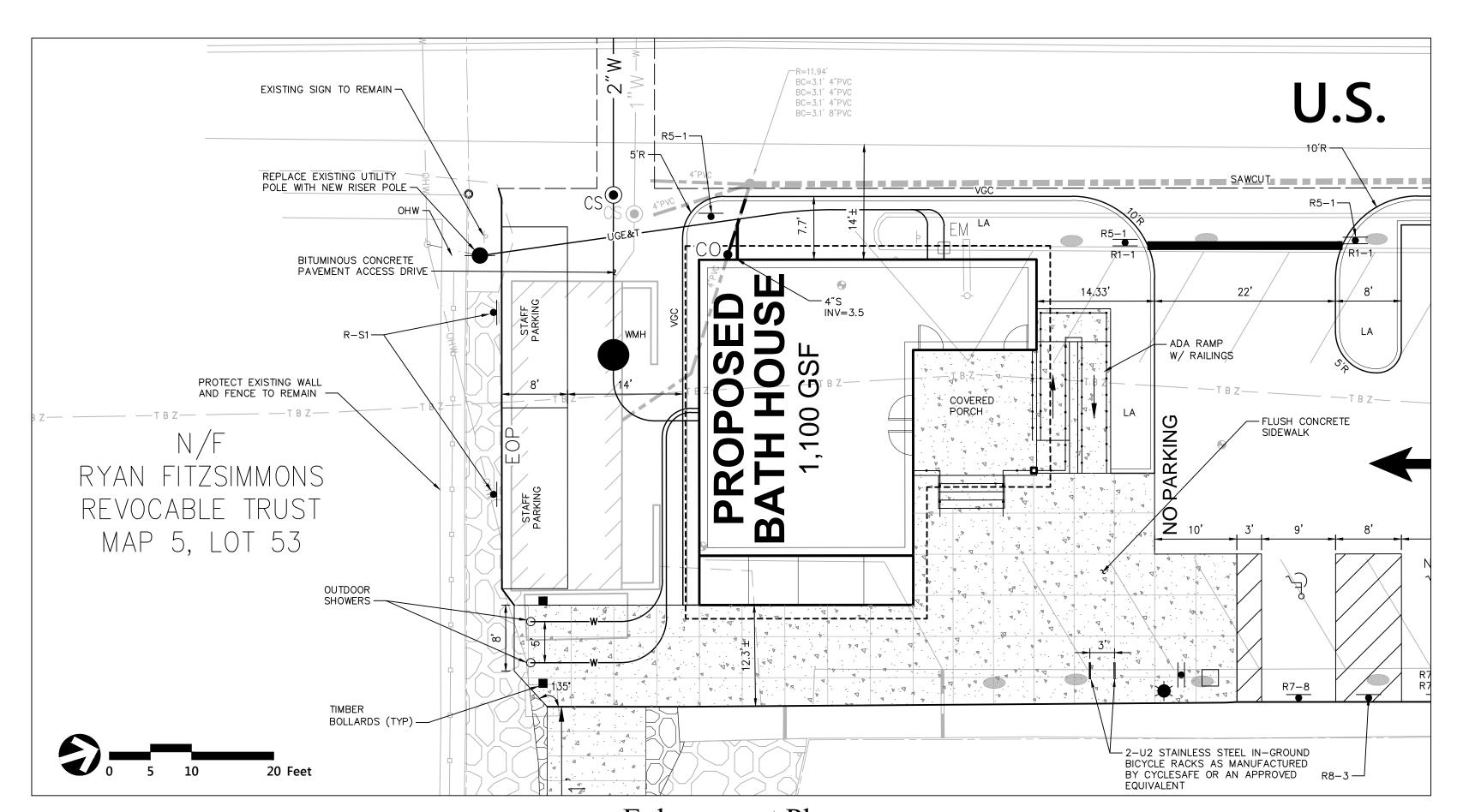


Drawing Title

Legend and General Notes



Overall Plan



Enlargement Plan



Division of Parks and Recreation

New Hampshire Department of Resources and **Economic Development**

Administrator

Division of Public Works, **Design and Construction** New Hampshire Department of

Administrative Services

Civil Engineer / Landscape Architect / Surveyor



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Mechanical, Electrical & Plumbing Engineer



Drawing Set Log

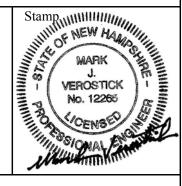
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Jenness Bathhouse Replacement and Parking Lot Improvements

2280 Ocean Boulevard Rye, New Hampshire 03870

Construction Documents ISSUED: June 30, 2016

VHB - 52348.05



Drawing Title

Layout, Materials and Utility Plan

Drawing Number

C - 2



Notes:

- 1. GRADING WITHIN THE ACCESSIBLE ROUTES SHALL MEET THE FOLLOWING CRITERIA IN ACCORDANCE WITH ADA REQUIREMENTS:
 - A) LONGITUDINAL SLOPE: 5% (MAX)
 - B) CROSS SLOPE: 3% (MAX.)
 C) PARKING SPACES / ACCESS AISLES:
 2% (MAX.)—ALL DIRECTIONS
 D) RAMPS AND CURB RAMPS: REFER TO
 APPLICABLE DETAILS.



Design and Construction New Hampshire Department of Administrative Services

Division of Parks

and Recreation

New Hampshire

Department of Resources and

Economic Development

Civil Engineer / Landscape Architect / Surveyor



Administrator

SAMYN - D'ELIA ARCHITECTS, P.A.

20 Main Street, Ashland, NH 03217 (603) 968-7133 / fax: (603) 968-3057 <u>sdarchitects.com</u>

Structural Engineer

Foley Buhl Roberts

ASSOCIATES INC

Mechanical, Electrical & Plumbing Engineer



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Designed by		Drawn by	101	necked by	_

Scale 1" = 20' Project Title and Location

Jenness Bathhouse Replacement and Parking Lot Improvements

2280 Ocean Boulevard Rye, New Hampshire 03870

Issued for

Construction Documents ISSUED: June 30, 2016

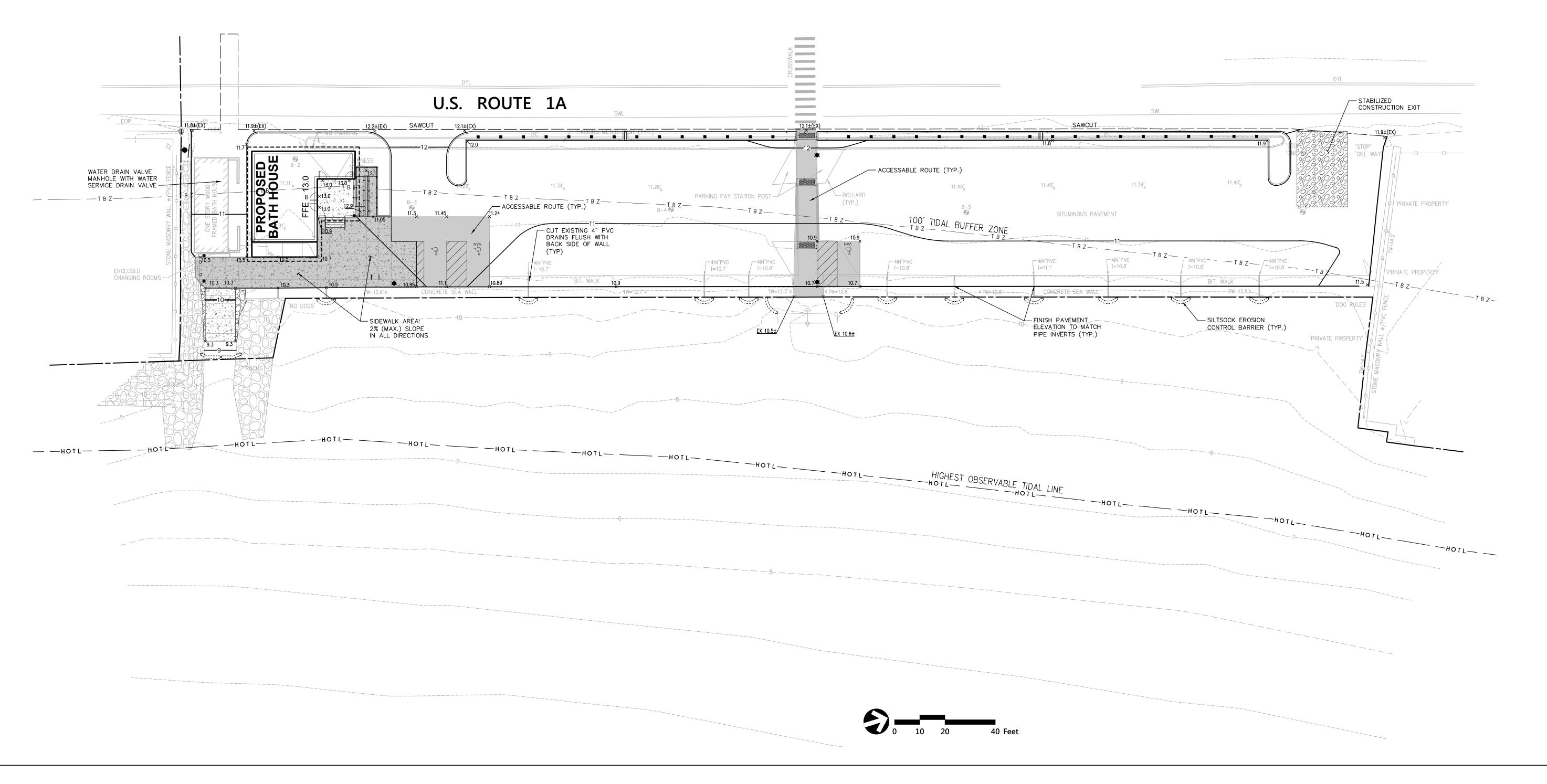
Project Number NHBPW - 80877B VHB - 52348.05

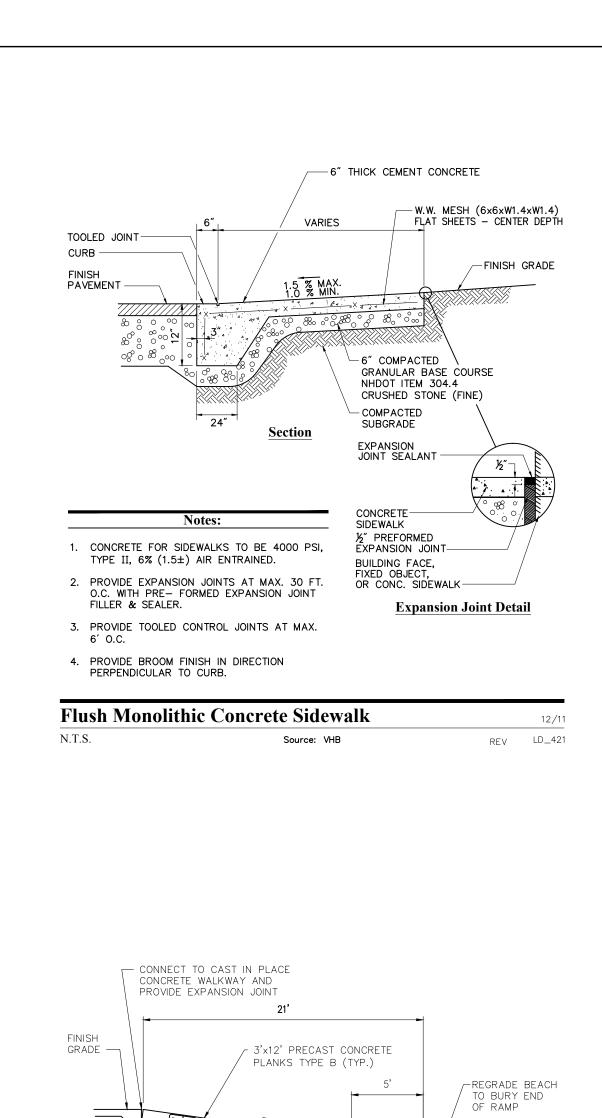


Drawing Title Grading, Drainage and Erosion Control Plan

Drawing Number

C - 3





6"x6"x½" STEEL PLATE (TYP.) —

N.T.S.

2 - 4"x4"x½" I-BEAMS BACKFILLED WITH 4"

Equipment Ramp Longitudinal Section

Source: NH Fish and Game Dept.

6" COMPACTED CRUSHED COMPACTED

GRAVEL, NHDOT 304.3 — SUBGRADE —

1. PROVIDE BROOM FINISH.

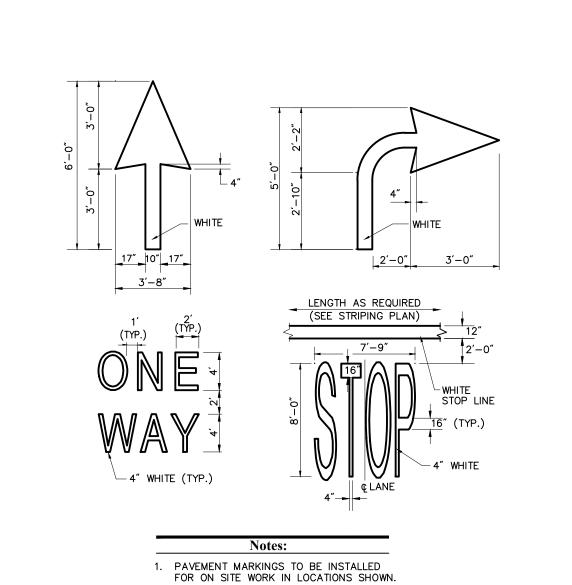
Source: VHB

Detectable Warning Concrete Apron

N.T.S.

6" CEMENT CONCRETE SIDEWALK

\\VHB\PROJ\BEDFORD\52348.05\CAD\LD\PLANSET\52348.05-DT



- 1½" BITUMINOUS WEARING COURSE

NHDOT 1/2" MAX. AGGREGATE SIZE SECTION 401, TABLE 1

NHDOT 3/4" MAX. AGGREGATE SIZE

REV LD_430

2" BITUMINOUS BINDER COURSE

SECTION 401, TABLE 1

8" COMPACTED GRANULAR

BASE COURSE -NHDOT ITEM 304.4 -

CRUSHED STONE (FINE)

- COMPACTED SUBGRADE

Standard Duty Flexible Pavement

Source: VHB

Bituminous Concrete Pavement Sections

N.T.S.

CLASS C STONE FILL

3" LAYER OF 3%" ANGULAR CRUSHED STONE CHOKER

- 2'x2' DETECTABLE WARNING

0 0 0 *2.35" TYP

TRUNCATED DOMES TRUNCATED DOMES

*DIMENSIONS ARE CENTER TO CENTER

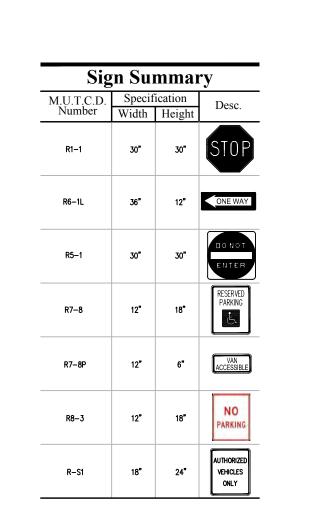
 \circ \circ \circ

(Plan View)

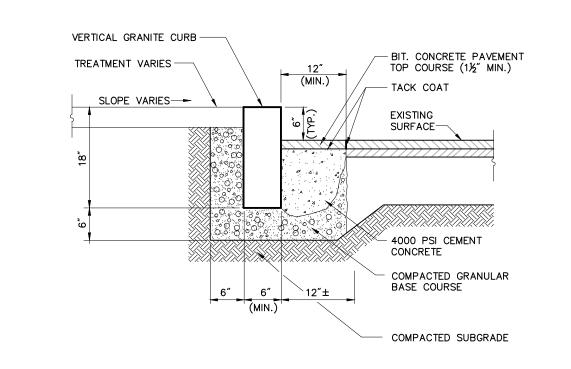
PANELS CAST INTO CONCRETE

(NHDOT ITEM 585.3)

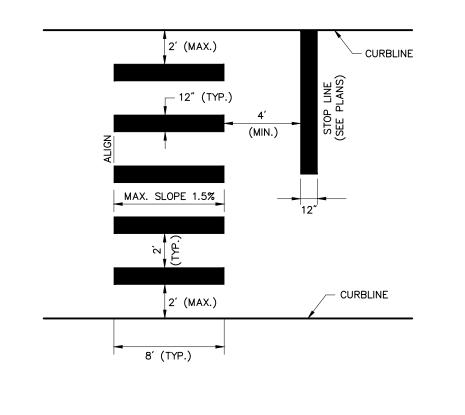




Sign Summary Chart	
N.T.S.	Source: VHB

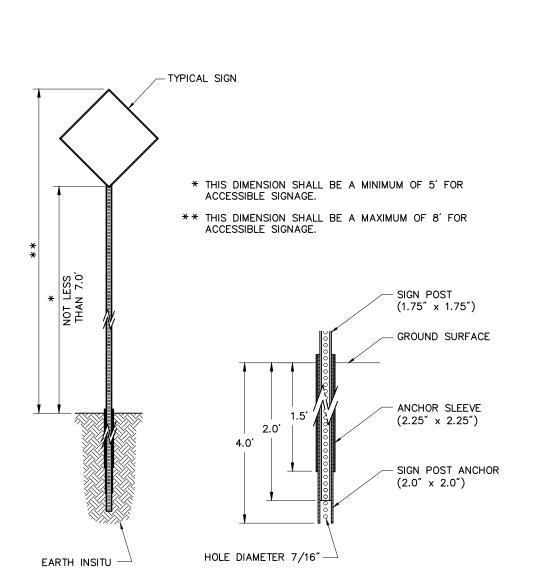




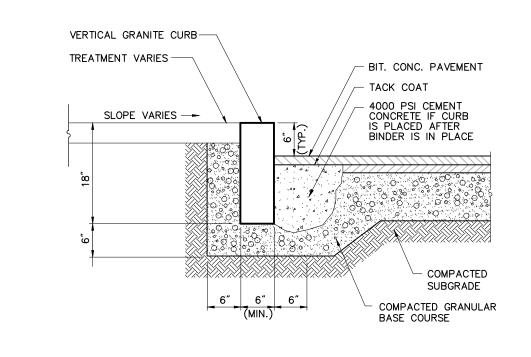


- 1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
- 2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
- 3. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.
- 4. CROSS WALK SIDESLOPE SHALL NOT EXCEED 1.5%.

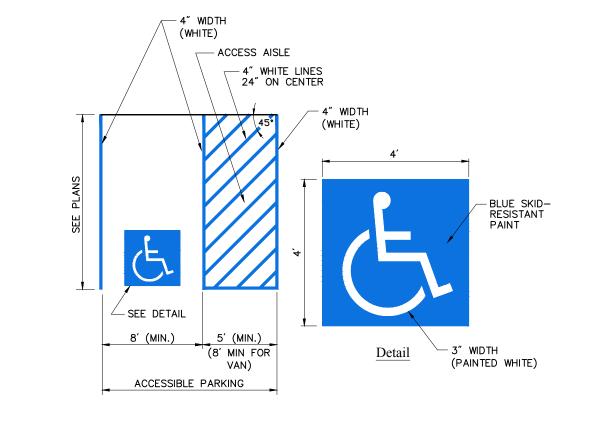
Crosswalk		6/08
.T.S.	Source: VHB	LD_553



Sign Post - Type 'B'		12/12
N.T.S.	Source: VHB	LD_702



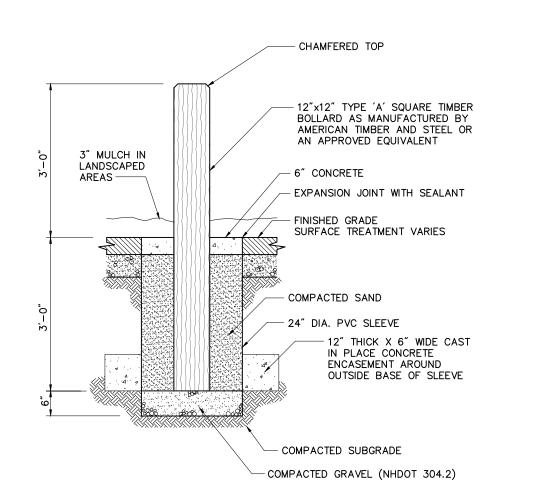
Vertical Granite Curb (VGC) 6/12				
N.T.S.	Source: VHB	REV	LD_402	



1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.

- 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
- ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.
- 4. ACCESS AISLE MEASURED BETWEEN OUTSIDE EDGES OF PAVEMENT MARKINGS.

Accessible Parking Space		12/1
N.T.S.	Source: VHB	LD_552-N



Timber Bollard N.T.S. Source: VHB

GRANULAR BASE COURSE NHDOT ITEM 304.4 CRUSHED STONE (FINE)



Division of Parks and Recreation New Hampshire

Department of Resources and **Economic Development**

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Owner

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Civil Engineer / Landscape Architect / Surveyor



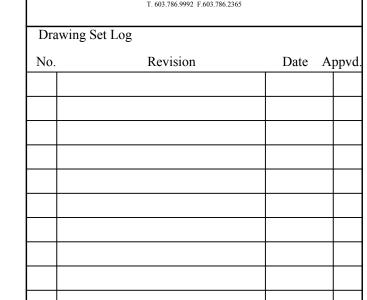
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Structural Engineer



Mechanical, Electrical & Plumbing Engineer



None

Project Title and Location

Jenness Bathhouse Replacement and Parking Lot Improvements

2280 Ocean Boulevard Rye, New Hampshire 03870

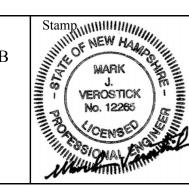
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Construction Documents

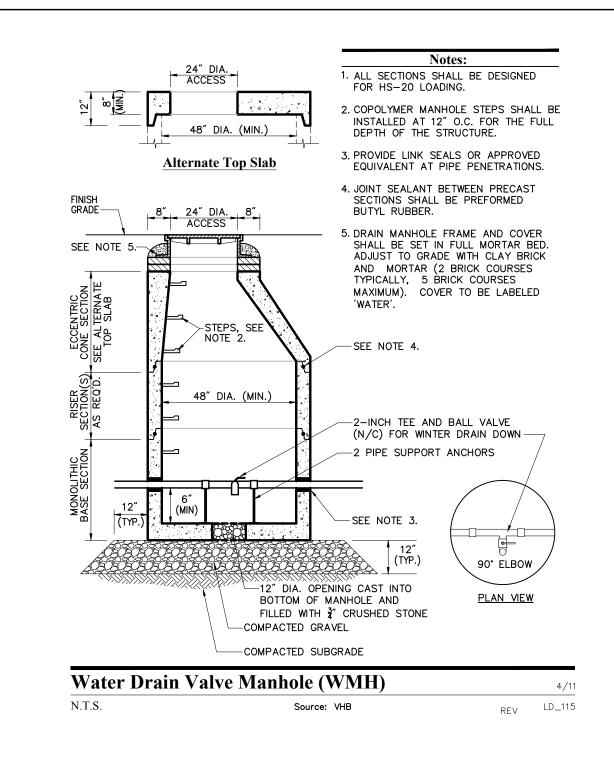
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Project Number NHBPW - 80877B

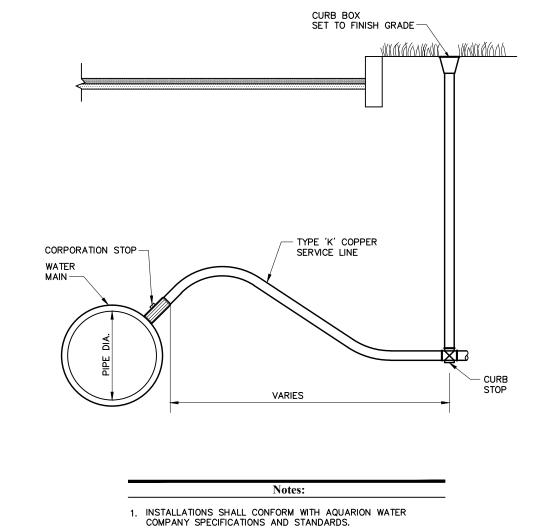
VHB - 52348.05



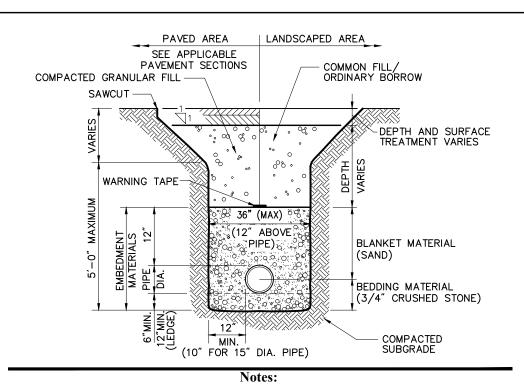
Drawing Title Site Details 1



\\VHB\PROJ\BEDFORD\52348.05\CAD\LD\PLANSET\52348.05-DT



Corporation/Curb Stop with Box			6/08
N.T.S.	Source: VHB	REV	LD_256



1. USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

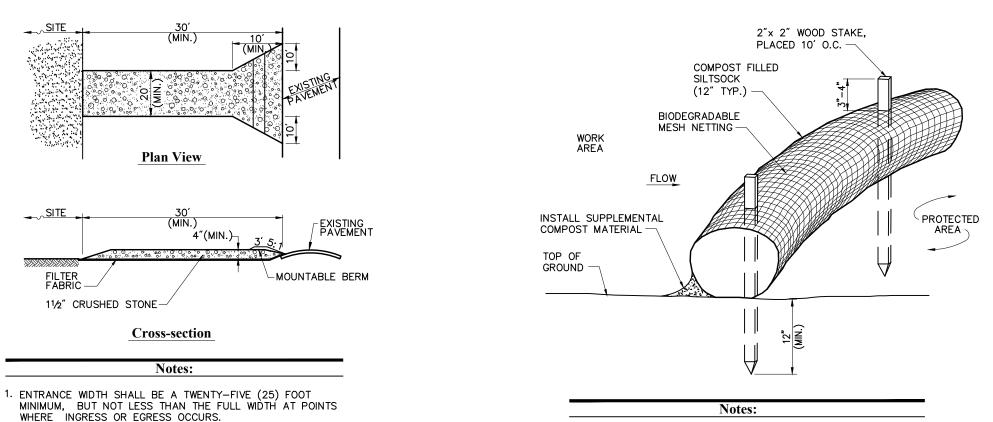
- 2. EMBEDMENT MATERIALS: A. PIPE BEDDING MATERIAL SHALL EXTEND FROM A HORIZONTAL PLANE THROUGH
- THE PIPE AXIS TO 6 INCHES BELOW THE BOTTOM OF THE PIPE'S OUTSIDE B. PIPE BLANKET MATERIAL SHALL COVER THE PIPE A MINIMUM OF 12 INCHES ABOVE
- THE CROWN OF THE PIPE'S OUTSIDE SURFACE. C. COMPACTION SHALL BE IN 6 INCH (MAX) LAYERS FOR BEDDING MATERIALS

MATERIALS AND 12 IN (MAX) LAYERS FOR BLANKET MATERIALS.

- 3. MAXIMUM ALLOWABLE TRENCH WIDTH AT A PLANE 12 INCHES ABOVE THE PIPE SHALL BE 36 INCHES (PIPE DIAMETERS UP TO 15 INCHES).
- 4. WATER LINES SHALL BE LOCATED AT LEAST 10-FT HORIZONTALLY FROM SEWER LINES.
- A MINIMUM VERTICAL SEPARATION OF 18-IN SHALL BE PROVIDED WHERE SEWER AND WATER LINES CROSS AND THE WATER LINE SHALL BE LOCATED ABOVE THE SEWER

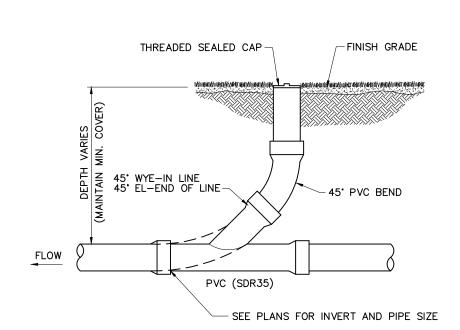
5. INSTALL INSULATION ABOVE SEWER LINES WHEN THEY CROSS UNDER DRAIN LINES WITHIN 10-FT OF A DRAINAGE STRUCTURE. INSULATION SHALL BE 2-IN (MIN.) RIGID INSULATION PLACED 30-IN (MIN.) ACROSS THE TRENCH AND SHALL EXTEND 5-FT ON EITHER SIDE OF THE CROSSING.

Sewer Trench		7/0
N.T.S.	Source: VHB	LD_300S-N



- 1. SILTSOCK SHALL BE FILTREXX SILTSOXX, OR APPROVED EQUAL. 2. SILTSOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
- SILTSOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE
- PERFORMED PROMPTLY AS NEEDED. 4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS
- DETERMINED BY THE ENGINEER. 5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Siltsock - Erosi	ion Control Barrier	8/12
N.T.S.	Source: VHB	LD_658



Cleanout - Landscape Area		6/0
N.T.S.	Source: VHB	LD_30

	PAVED AREA	LANDSCAPED AREA
COMPACTED	SEE APPLICABLE PAVEMENT SECTIONS GRANULAR FILL	COMMON FILL/ ORDINARY BORROW
7	WCUT	
VARIES		DEPTH AND SURFACE TREATMENT VARIES
	WARNING TAPE	
o" MAXIMUM	SOMPACTED BEDDING 12" DIA. SEE NOTE 3.	DEPTH VARIES
5, -0."	COMP BED BED DIA.	HAND TAMPED HAUNCHING COMPACTED BEDDING
	12" MIN.	COMPACTED SUBGRADE
	N	otes:

2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO

PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP

DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED

OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED.

PERIODIC INSPECTION AND MAINTENANCE SHALL BE

3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Source: VHB

PROVIDED AS NEEDED.

Stabilized Construction Exit

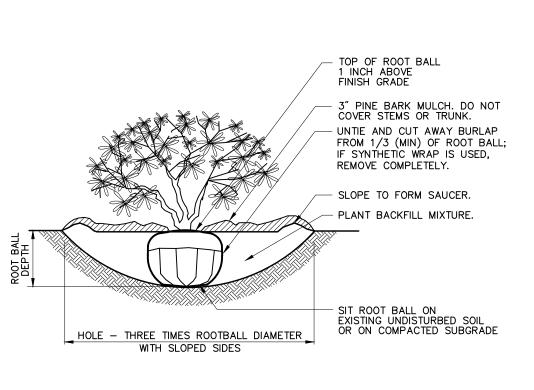
N.T.S.

- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
- 2. USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.
- 3. FOR HDPE PIPE, DIMENSION IS 24 INCHES.
- 4. MINIMUM COVER REQUIREMENTS: A. WATER: 5-FT

- C. DRAIN: AS SPECIFIED ON PLANS 5. EMBEDMENT MATERIALS:
- A. WATER: GRAVEL (NHDOT 304.2-MODIFIED FOR 1-1/2 IN MAX. STONE SIZE) C. DRAIN: GRAVEL (NHDOT 304.2-MODIFIED FOR 1-1/2 IN MAX. STONE SIZE)
- 6. WITHIN RIGHT OF WAY BACKFILL MUST BE PLACED IN 12" LIFTS AND COMPACTED.

Utility Trench	(Water & Drain)	6/03	Shrub Planting	
N.T.S.	Source: VHB	LD_300-NH	N.T.S.	Source: VHB

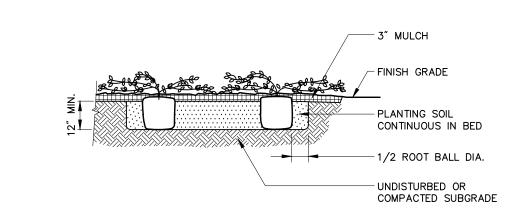
REV LD_682



Notes:	
1.	LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

Shrub Planting		6/08
N.T.S.	Source: VHB	LD_60

PLANT SPACING ("A")	ROW SPACING ("B")	
6 IN. O.C.	5 IN. O.C.	"A"
8 IN. O.C.	7 IN. O.C.	
10 IN. O.C.	8-1/2 IN. O.C.	
12 IN. O.C.	10-1/2 IN. O.C.	"B" \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \
15 IN. O.C.	13 IN. O.C.	7. 7.
18 IN. O.C.	16 IN. O.C.	
24 IN. O.C.	21 IN. O.C.	



Ground Cover Planting		11/09
N.T.S.	Source: VHB	LD_615



Division of Parks and Recreation

New Hampshire

Department of Resources and

Economic Development Administrator

Owner

Division of Public Works, **Design and Construction**

New Hampshire Department of Administrative Services

Civil Engineer / Landscape Architect / Surveyor



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Structural Engineer



Mechanical, Electrical & Plumbing Engineer



Dra	wing Set Log				
No.		Revision	1	Date	Appvo
Des	igned by MJV	Drawn b	y MJV	Checked b	ру
CA	D checked by		Approved	l by	

Jenness Bathhouse Replacement and Parking Lot Improvements

2280 Ocean Boulevard Rye, New Hampshire 03870

Construction Documents

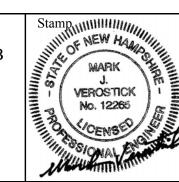
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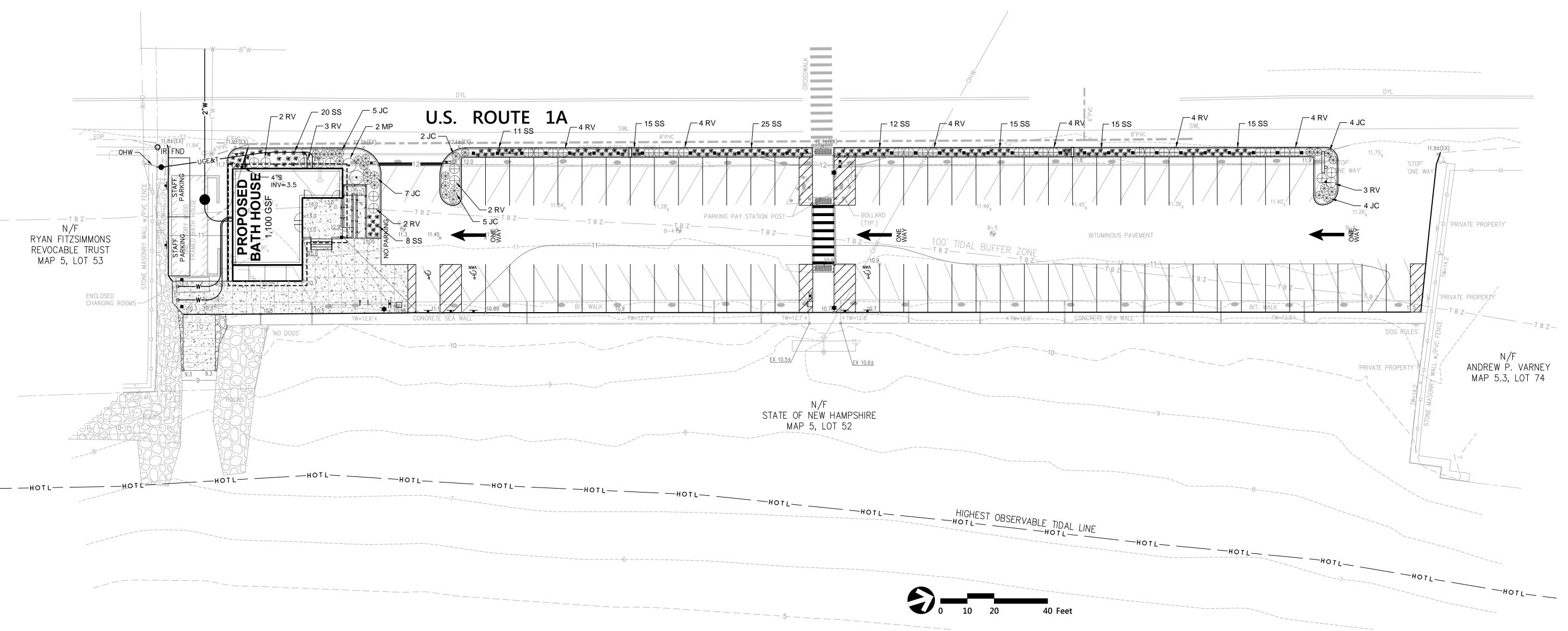
VHB - 52348.05

None

Project Title and Location



Drawing Title Site Details 2



Landscape Notes

- 1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- 3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- 4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- 6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- 1. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- 8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- 9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- 10. VEGETATED AREAS STEEPER THAN A 3:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC UNTIL FULLY STABILIZED WITH VEGETATION.
- 11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES, REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Plant Maintenance Notes

- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE PLANTINGS.
 NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY
 SUPPLEMENTAL WATERING FOR NEW PLANTINGS DURING THE ONE YEAR PLANT
 GUARANTEE PERIOD.
- 2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- 3. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- 4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- 5. CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

		Plant List		
Key	Qty.	Botanical Name	Common Name	Size
• MP	2	MYRICA PENNSYLVANICA	BAYBERRY	2' - 2-1/2' BB
⊕ RY	36	ROSA VIRGINIANA	VIRGINIA ROSE	3 GAL.
₩ JC	27	JUNIPERUS CONFERTA 'BLUE PACIFIC'	BLUE PACIFIC JUNIPER	3 GAL.
* 55	136	SCHIZACHRIUM SCOPARIUM 'THE BLUES'	THE BLUES LITTLE BLUE STEM GRASS	1 GAL.



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Architect

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Structural Engineer

structural engineers

T 603-622-4578

Foley Buhl Roberts

& ASSOCIATES INC

500 Commercial Street

Mechanical, Electrical & Plumbing Engineer



Date Appvd

Drawing Set Log

-						
		igned by RGL	Drawn b	MJV	Checked by F	RGL
		D checked by		Approved	by	
	Sca	1'' = 20'				

Project Title and Location

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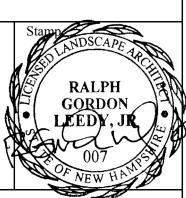
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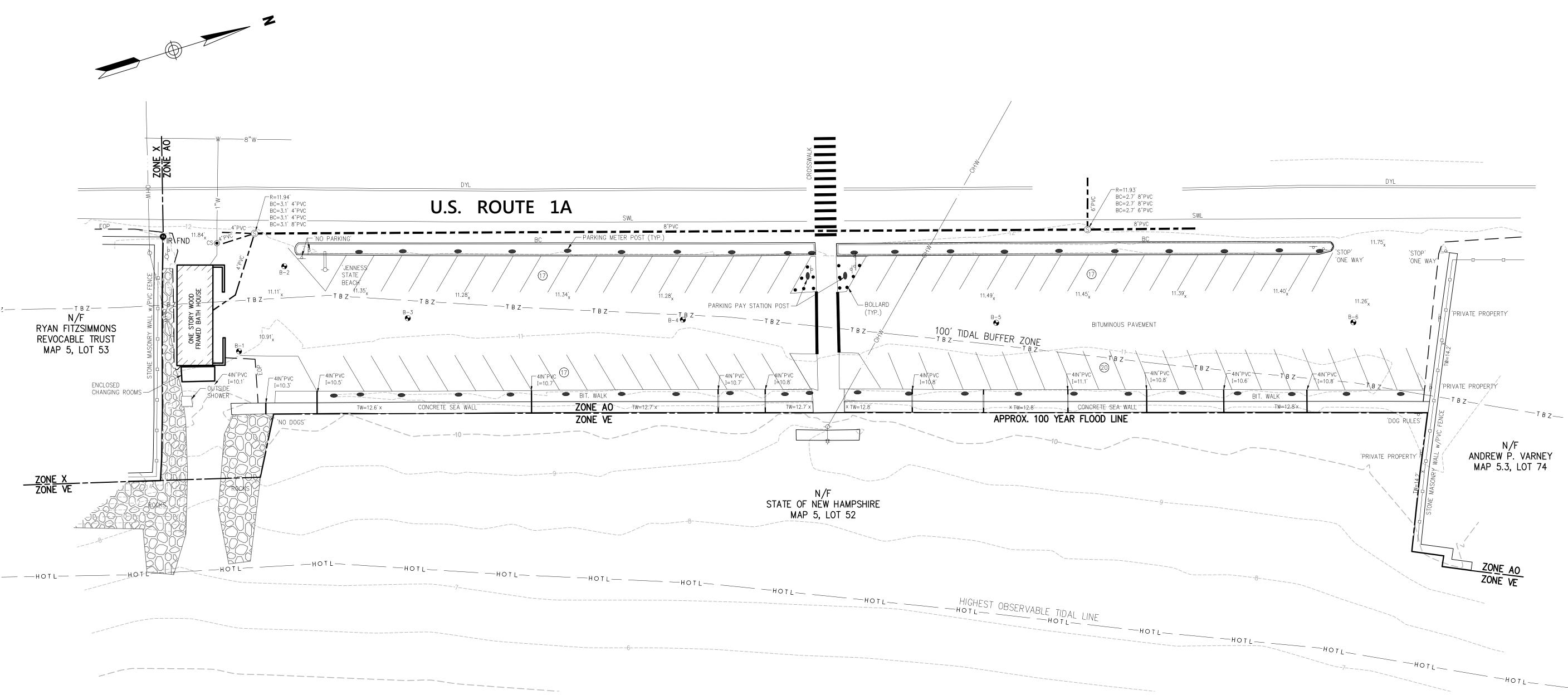


Drawing Title

Landscape Plan

Drawing Number

L - 1



General Notes

- 1. THE OWNER OF RECORD AT THE TIME OF THE SURVEY IS: STATE OF NEW HAMPSHIRE
- 2. THE PROPERTY LINES SHOWN ARE BASED ON PLAN REFERENCE 1.
- 3. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON—THE—GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC IN DECEMBER 2015.
- 4. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 5. HORIZONTAL DATUM IS N.A.D. 1983.
- 6. CONTOURS AND SPOT ELEVATIONS SHOWN ARE BASED UPON N.A.V.D. 1988.
- 7. MAP 5 LOT 52 LIES ENTIRELY WITHIN ZONE AO (AREA OF 100 YEAR SHALLOW FLOODING 1 TO 3 FT DEPTH) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ROCKINGHAM COUNTY, NH COMMUNITY PANEL NUMBER 33015C 0432 E, EFFECTIVE DATE MAY 17, 2005.

Plan Reference

1) PLAN ENTITLED, "JENNESS STATE BEACH RYE, NEW HAMPSHIRE" DATED: DECEMBER 2006.

20 0 20 40
SCALE IN FEET



Division of Parks and RecreationNew Hampshire

Department of Resources and Economic Development

Administrator

Division of Public Works,
Design and Construction
New Hampshire
Department of
Administrative Services

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F 603-622-4593

F 603-622-4593

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Mechanical, Electrical & Plumbing Engineer



Dra	wing Set Log					
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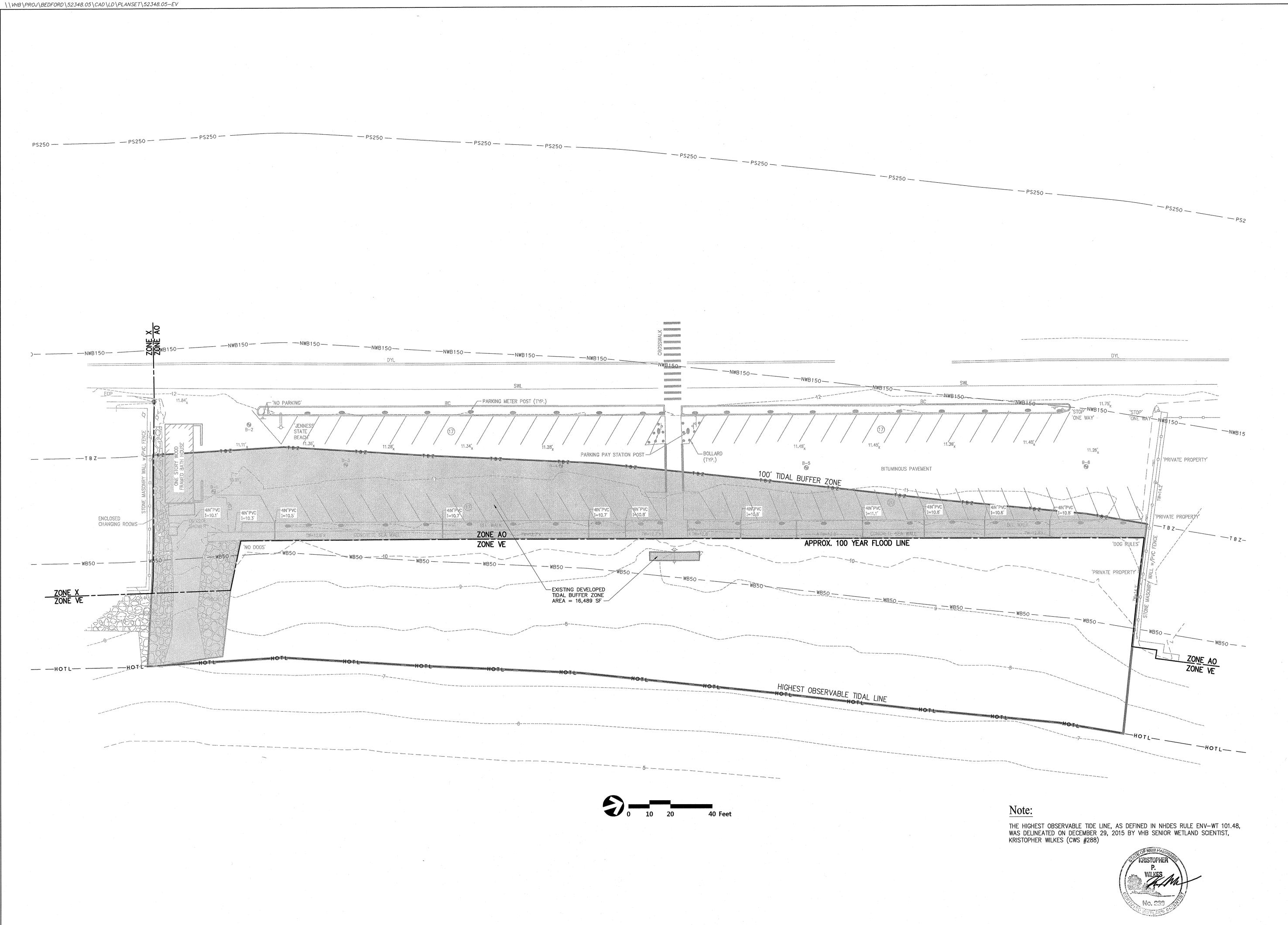
VHB - 52348.05

Drawing Title

Existing Conditions
Plan of Land

Drawing Number

Sv-1





Division of Parks and RecreationNew Hampshire

Department of Resources and Economic Development

Administrator

Division of Public Works, Design and Construction

New Hampshire
Department of
Administrative Services

Civil Engineer / Landscape Architect / Surveyor



2 Bedford Farms Drive Suite 200 Bedford, NH 03110 603.391.3900

Architect

SAMYN - D'ELIA ARCHITECTS, P.A.

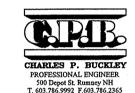
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Structural Engineer

structural engineers Foley Buhl Roberts & ASSOCIATES INC

T 603-622-4578 500 Commercia F 603-622-4593 www.fbra.com Manchester NH

Mechanical, Electrical & Plumbing Engineer



Drawing Set Log

No. R

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CAD checke	d by	Appr	oved by	
Scale				·

Scale 1" = 20'
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Issue

Construction Documents
ISSUED: June 30, 2016

Project Number

NHBPW - 80877A

VHB - 52348.05

Drawing Title

Wetland Permitting
Plan
Existing Conditions

Drawing Number

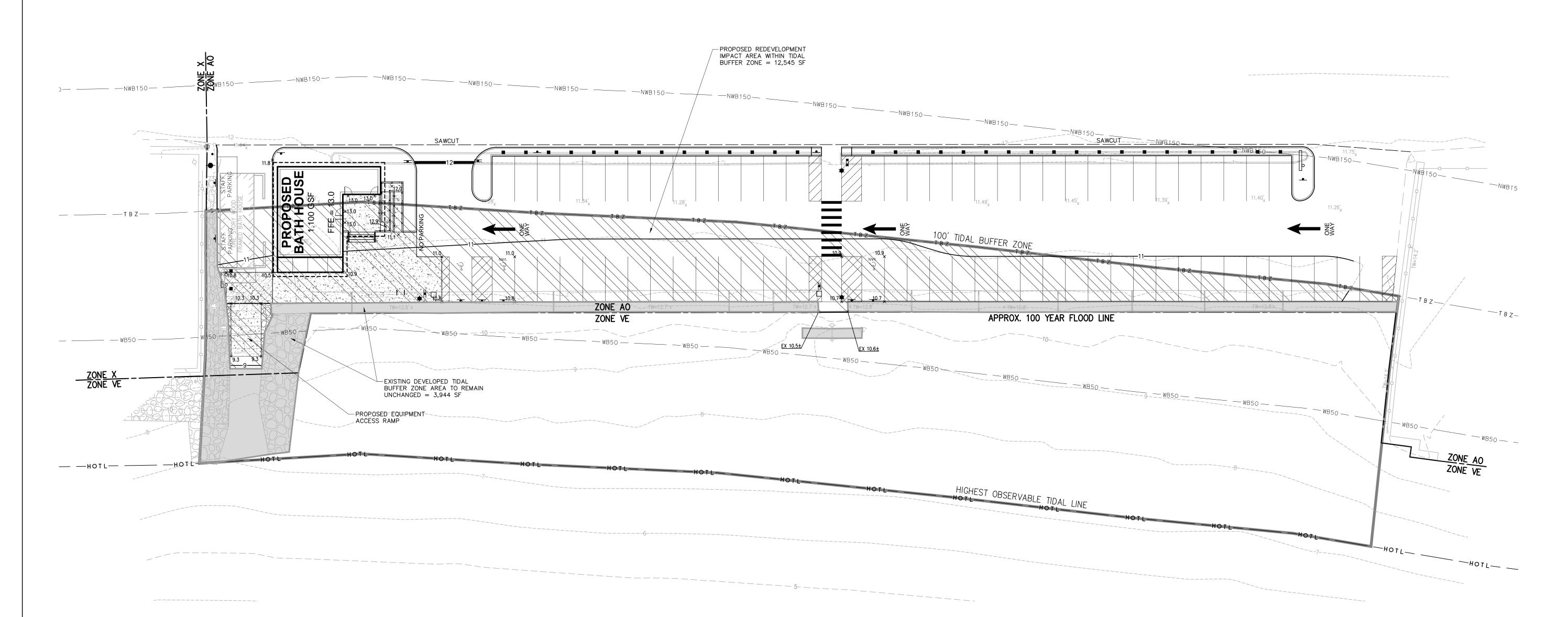
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Protected Sho	reland Imp	act Sumn	nary
	Total Proposed	Impervi	ous Area
Zone	Impact Area	Existing	Proposed
0' - 50' WATERFRONT BUFFER	182 SF	0 SF	103 SF
50' - 150' NATURAL WOODLAND BUFFER	29,436 SF	30,575 SF	29,637 SF
150' - 250' PROTECTED SHORELAND	366 SF	340 SF	287 SF
TOTAL	29,984 SF	30,915 SF	30,027 SF







Division of Parks and Recreation

New Hampshire Department of Resources and **Economic Development**

Administrator

Division of Public Works, **Design and Construction**

New Hampshire Department of Administrative Services

Civil Engineer / Landscape Architect / Surveyor



SAMYN • D'ELIA ARCHITECTS, P.A.

20 Main Street, Ashland, NH 03217 (603) 968-7133 / fax: (603) 968-3057 <u>sdarchitects.com</u>

Structural Engineer

Foley Buhl Roberts
tructural ASSOCIATES INC

Mechanical, Electrical & Plumbing Engineer



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Project Title and Location

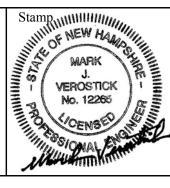
Jenness Bathhouse Replacement and Parking Lot Improvements

2280 Ocean Boulevard Rye, New Hampshire 03870

Issued for

Construction Documents ISSUED: June 30, 2016

NHBPW - 80877A VHB - 52348.05



Drawing Title

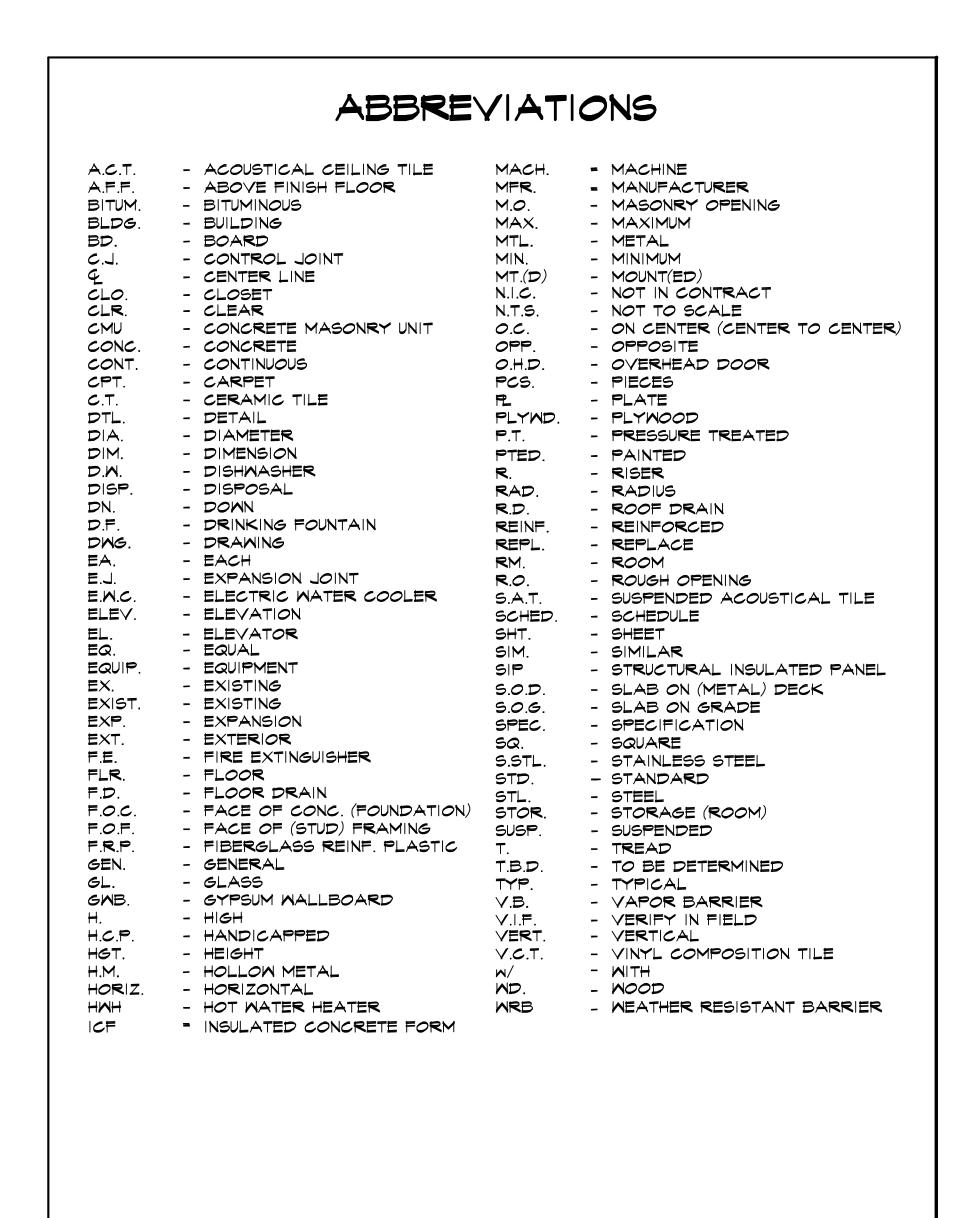
Wetland Permitting Plan **Proposed Conditions**

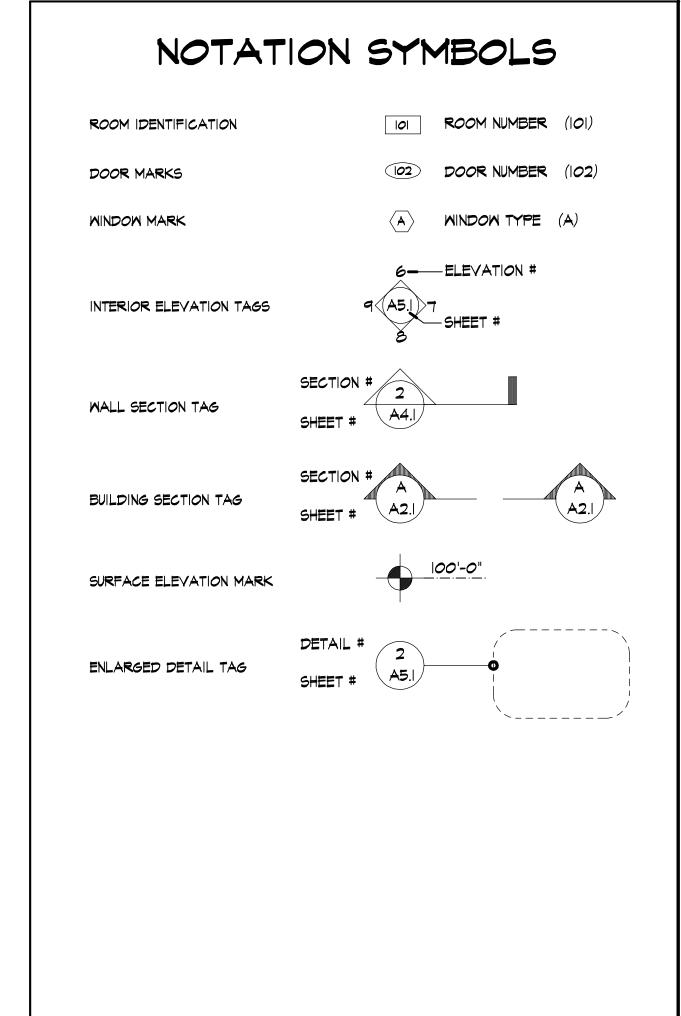
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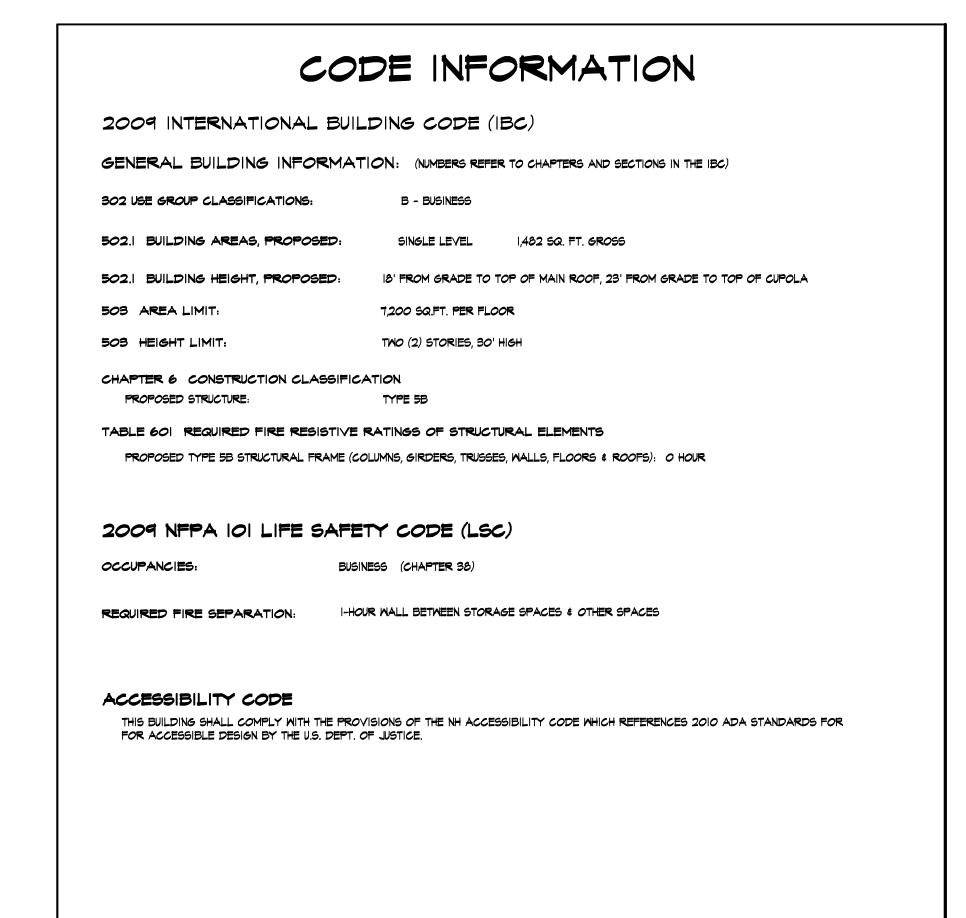
Ev - 2

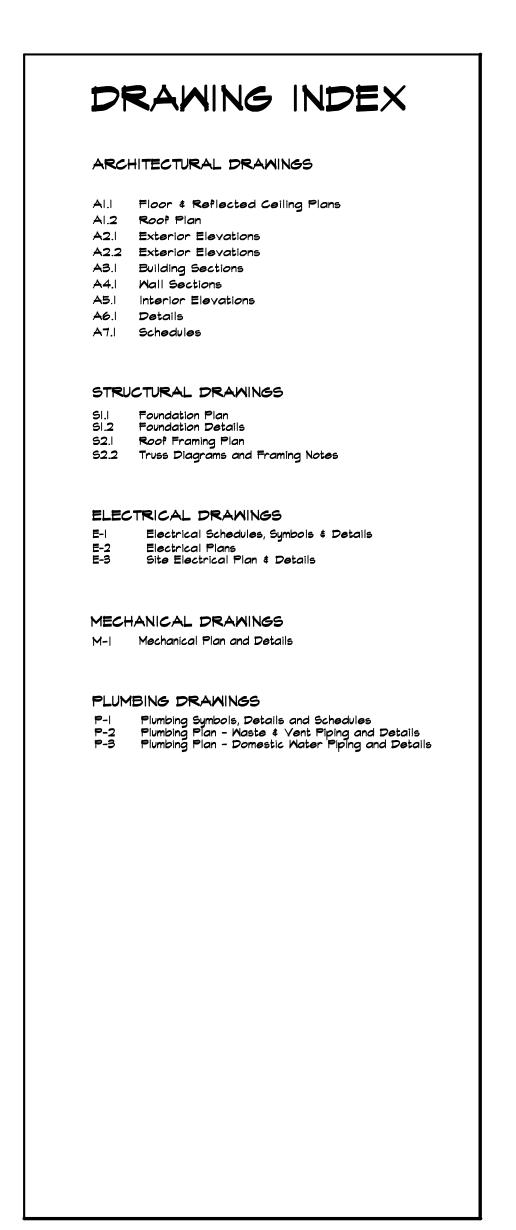
Jenness Bathhouse Replacement and Parking Lot Improvements

JENNESS BEACH STATE PARK RYE, NEW HAMPSHIRE NHBPW #80877B









Client:

State of New Hampshire
Department of Resources & Economic Development
Division of Parks and Recreation

172 Pembroke Road, P.O. Box 1856

Concord, NH 03302

(603) 271-3556

Architect:

Samyn-D'Elia Architects, P.A.

P.O. Box 1259 Ashland, N.H. 03217 (603) 968-7133 Civil Engineer/Surveyor:

Vanasse, Hangen, Brustlin, Inc.

6 Bedform Farms Drive, Suite 607 Bedford, NH 03110 (603) 644-0888 Mechanical/Electrical/Plumbing Engineer:

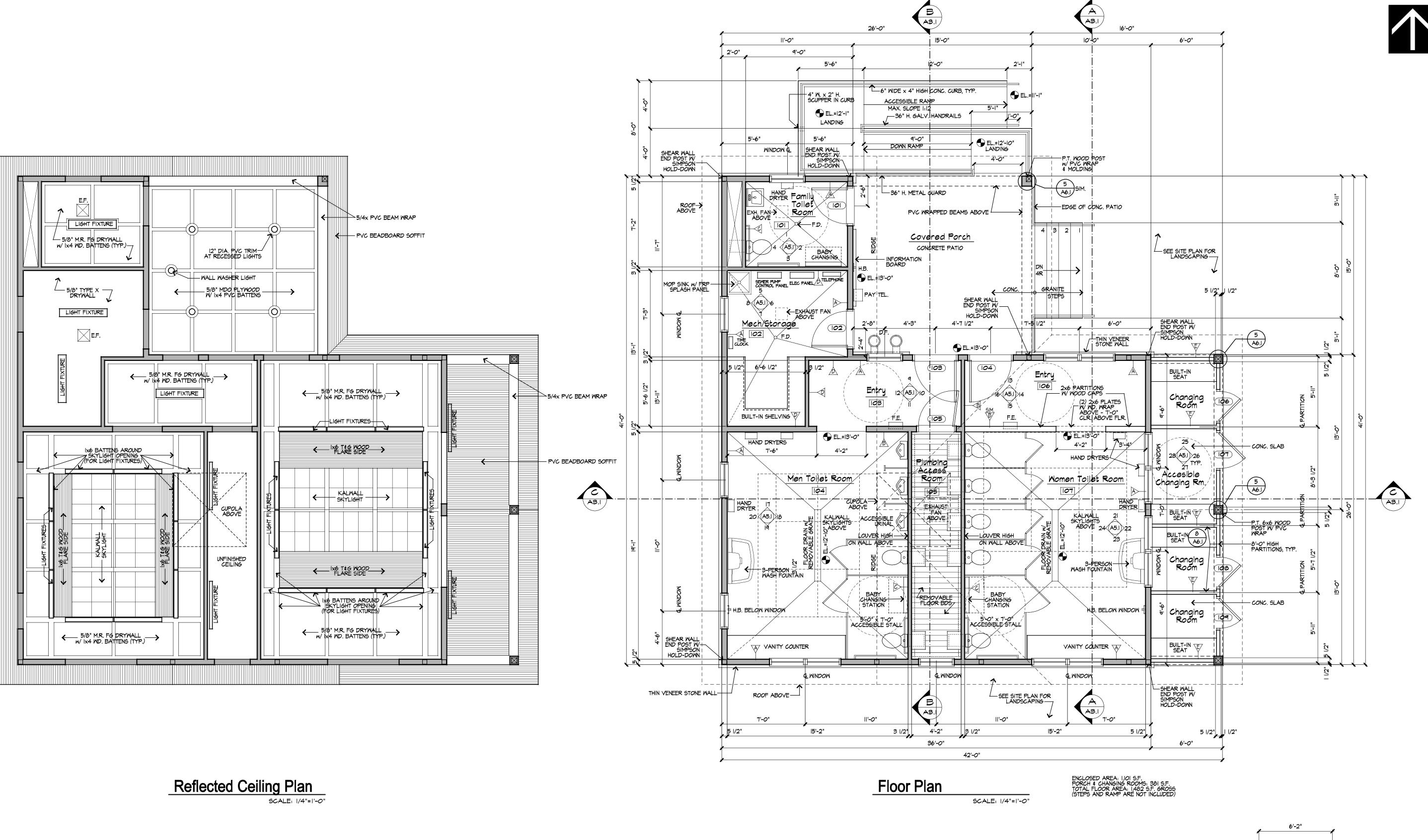
Charles P. Buckley, P.E.

500 Depot Street Rumney, NH 03266 (603) 786-9992 Structural Engineer:

Foley Buhl Roberts

* Associates, inc.

500 Commercial Street Manchester, NH 03101 (603) 622-4578



Cupola Plan

SCALE: 1/4"=1'-0"



Division of Parks and Recreation New Hampshire Department of Resources **Economic Development**

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Civil Engineer / Landscape Architect / Surveyor



SAMYN - D'ELIA ARCHITECTS, P.A (603) 968-7133 / fax: (603) 968-305

Foley Buhl Roberts

Cuctural

ASSOCIATES INC.

500 Commercial Street



Drawn by MR	Checked by WD
	Drawn by MR

Scale AS NOTED Project Title and Location

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Project Number NHBPW - 80877B VHB -

52348.05

SDA -1535

Drawing Title

First Floor Plan Reflected Ceiling Plan









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SAMYN - D'ELIA ARCHITECTS, P.A. 20 Main Street, Ashland, NH 03217 (603) 968-7133 / fax: (603) 968-3057 sdarchitects.com

Structural Engineer



T 603-622-4578 500 Commercial Street F 603-622-4593 www.fbra.com Manchester NH 03101

Mechanical, Electrical & Plumbing Engineer



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Scale AS NOTED Project Title and Location

Jenness Bathhouse Replacement and Parking Lot Improvements 2280 Ocean Boulevard Rye, New Hampshire 03870

Construction Documents

Issued: June 30, 2016

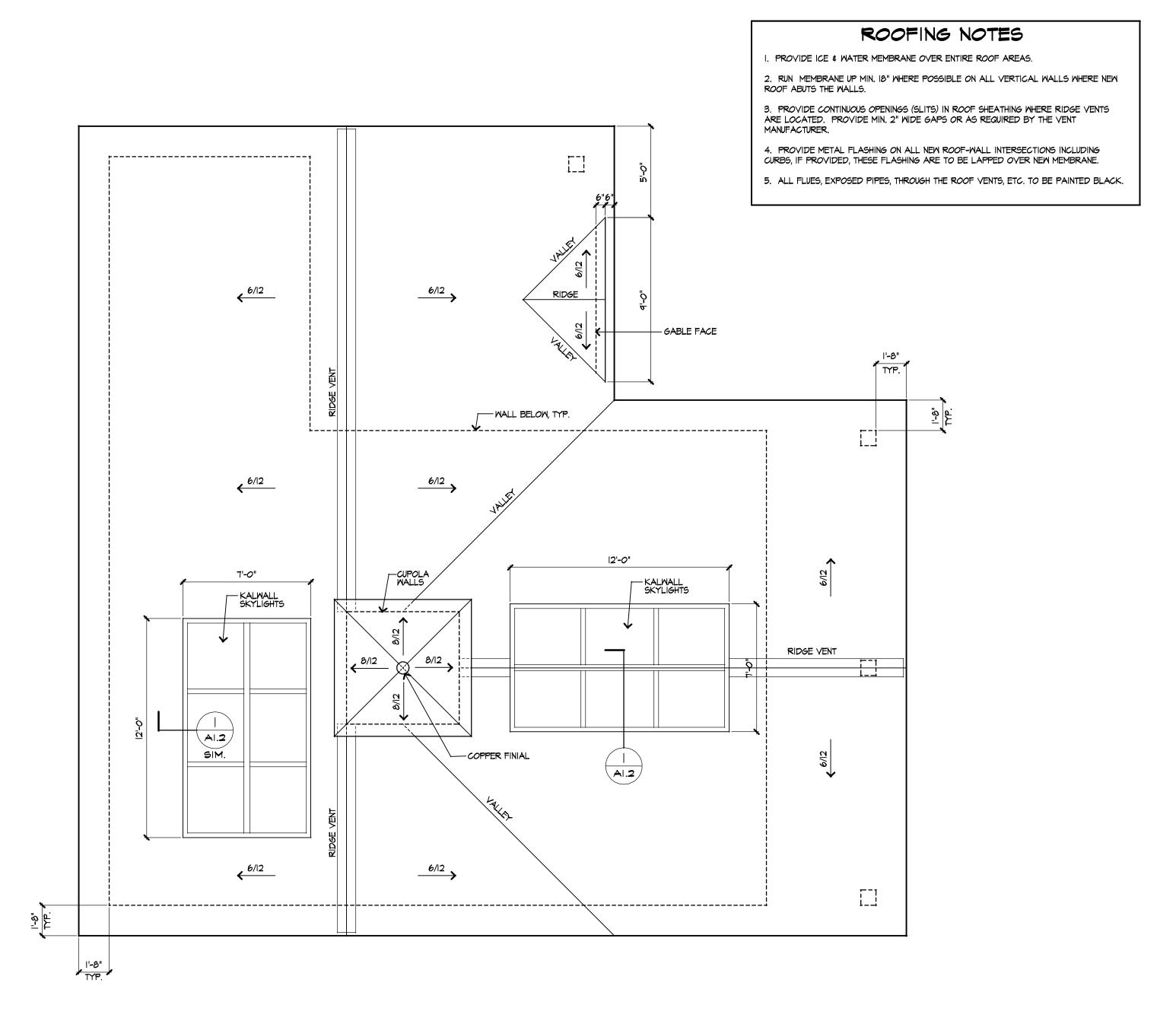
Project Number NHBPW - 80877B VHB -52348.05 SDA -1535

Drawing Title

Roof Plan

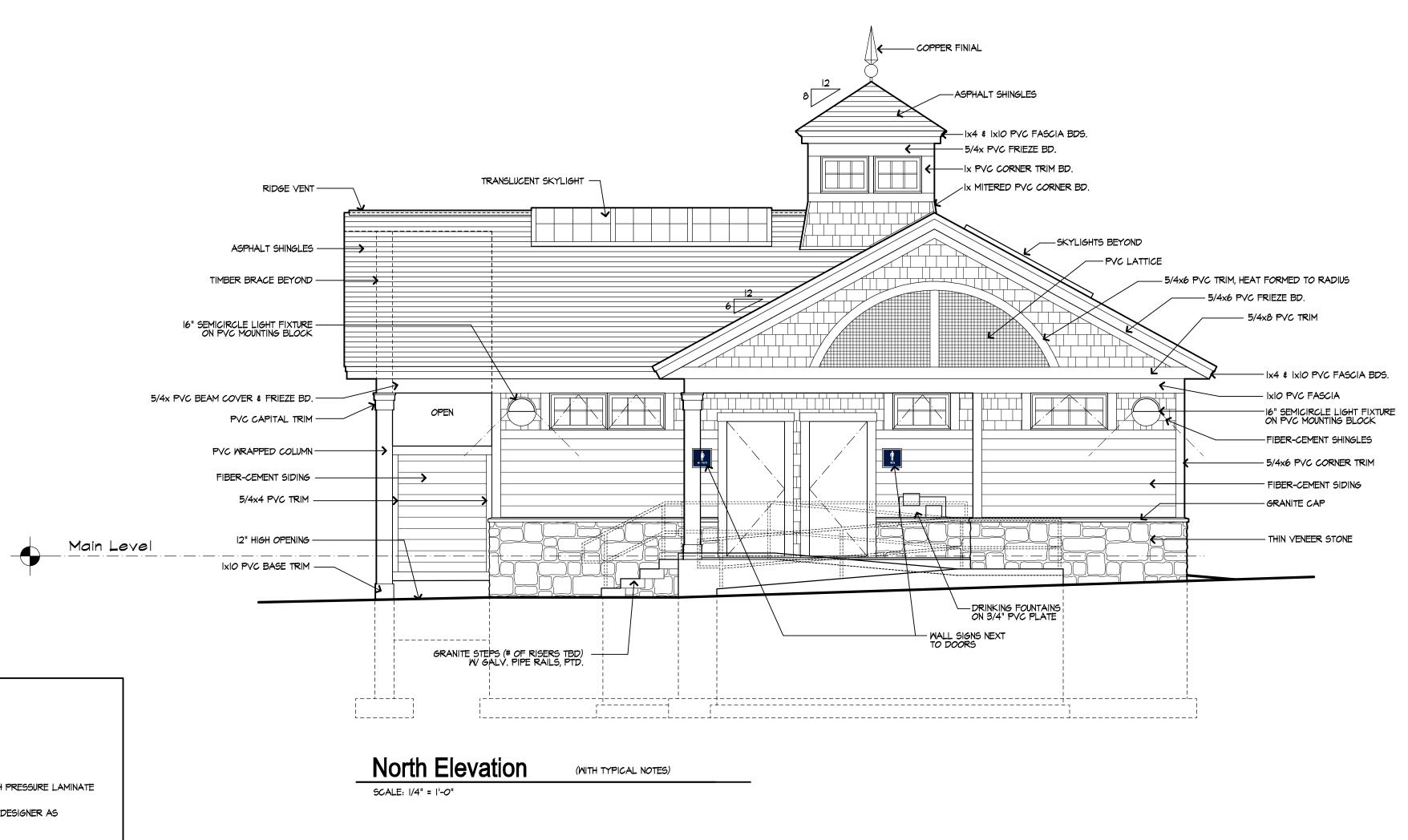
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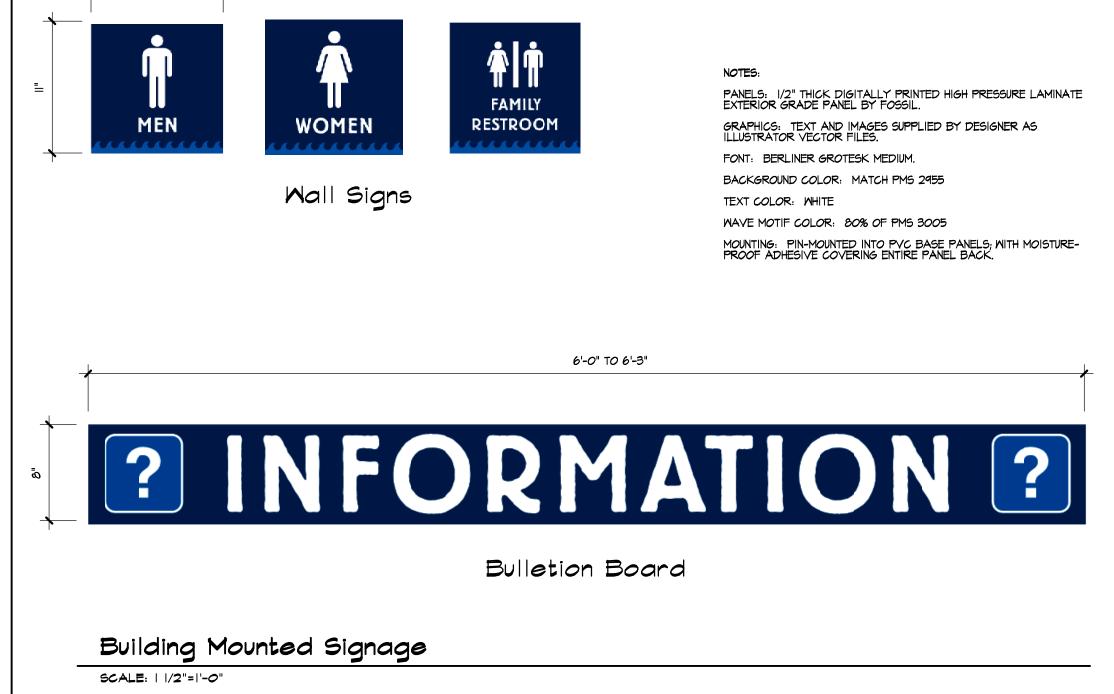


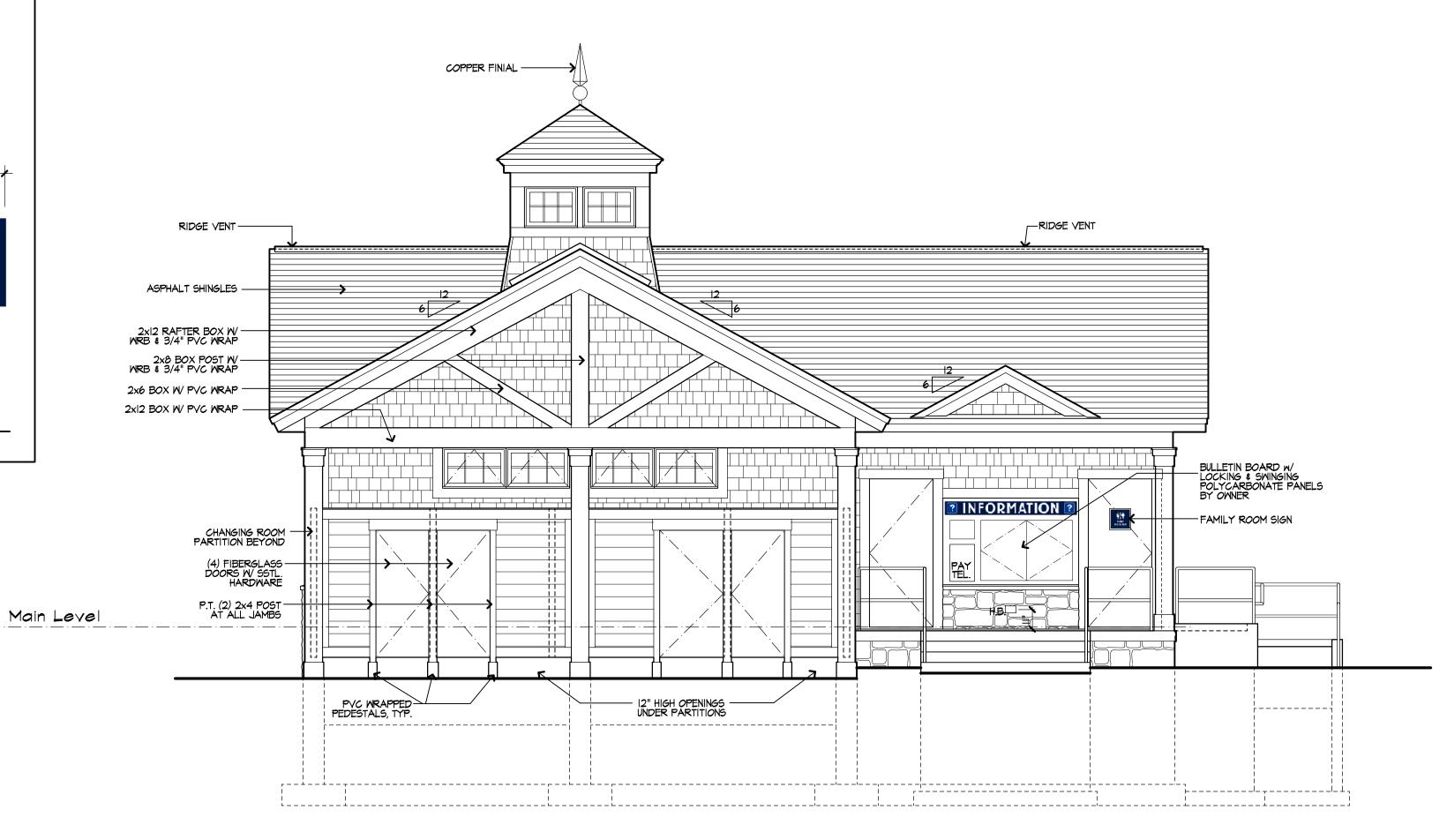


Roof Plan

SCALE: 1/4"=1'-0"







East Elevation

SCALE: 1/4" = 1'-0"

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Structural Engineer



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No.		Revision	1		Date	Α
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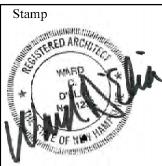
Jenness Bathhouse Replacement and Parking Lot Improvements 2280 Ocean Boulevard Rye, New Hampshire 03870

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Construction Documents

Project Title and Location

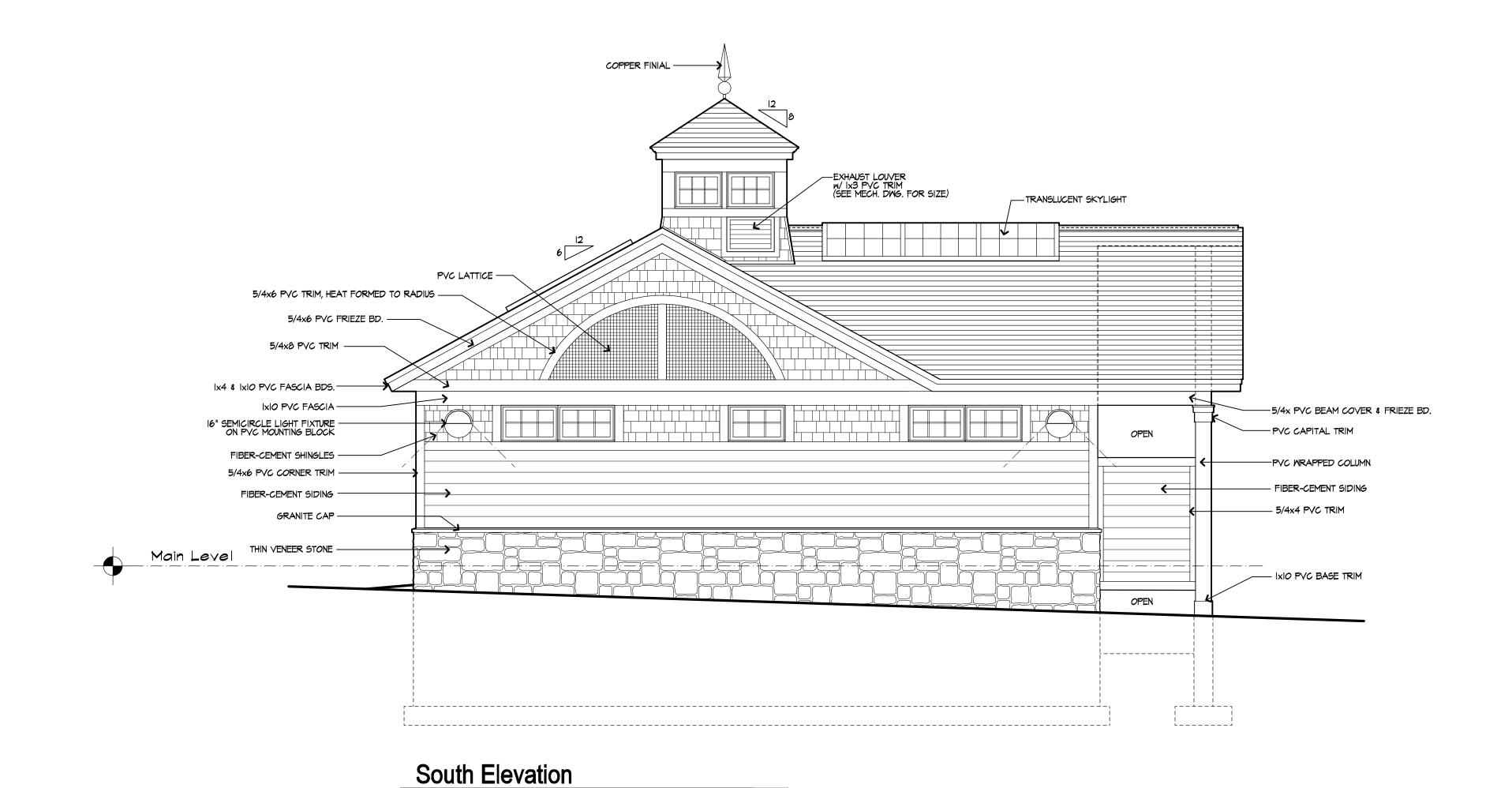
Issued: June 30, 2016



Drawing Title

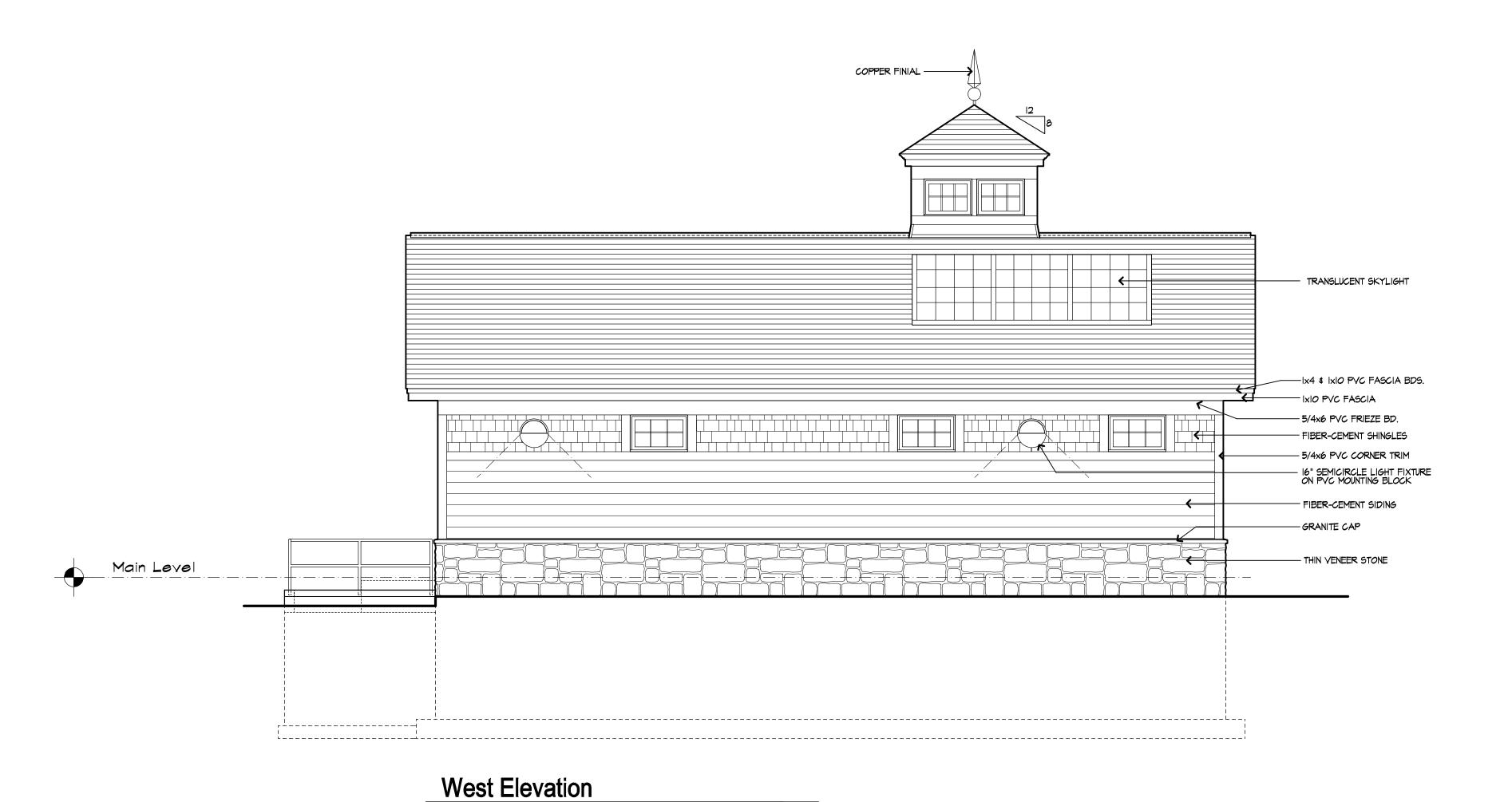
Exterior Elevations





SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



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New Hampshire
Department of
Administrative Services

Civil Engineer / Landscape Architect / Surveyor



Architect

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Drawing Set Log

No. Revision Date Appvd.

Designed by Drawn by MR Checked by WD

CAD checked by Approved by WD

Jenness Bathhouse Replacement and Parking Lot Improvements 2280 Ocean Boulevard Rye, New Hampshire 03870

Issued for

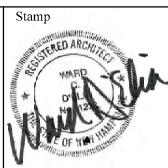
Scale AS NOTED

Project Title and Location

Construction Documents

Issued: June 30, 2016

Project Number
NHBPW
- 80877B
VHB 52348.05



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Drawing Title

Exterior Elevations

